

ORDINANCE NO. 1879

AN ORDINANCE OF THE CITY OF SUGAR LAND, TEXAS, APPROVING A CHANGE IN ZONING FOR 11.469 ACRES ON WESCOTT AVENUE AT BRANFORD PLACE IN TELFAIR FROM PLANNED DEVELOPMENT (PD) DISTRICT (GENERAL DEVELOPMENT PLAN) TO PLANNED DEVELOPMENT (PD) DISTRICT (FINAL DEVELOPMENT PLAN - TELFAIR EXCHANGE LOFTS AND LAKE GREENBELT) AND APPROVING A FINAL DEVELOPMENT PLAN FOR THE DISTRICT.

WHEREAS, Newland Communities has applied for a change in zoning from Planned Development District (General Development Plan) to Planned Development (Final Development Plan) zoning district classification for 11.469 acres of land located within the Telfair development; and

WHEREAS, the Planning and Zoning Commission recommends approval of the zoning change; and

WHEREAS, the City Council has held a public hearing on the proposed amendment for which notice was published at least fifteen days prior to the hearing date;

WHEREAS, the City Council finds that the zoning change complies with the City's comprehensive plan; NOW, THEREFORE;

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

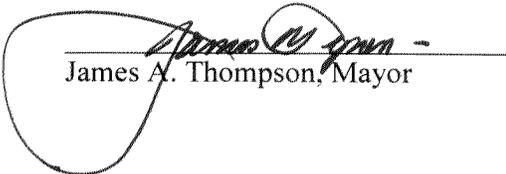
Section 1. That the zoning district classification of the 11.469 acres of land described in Exhibit A, attached to and incorporated into this ordinance by reference, is changed from zoning district classification PD (General Development Plan) to zoning district classification PD (Final Development Plan) under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

Section 2. That the Final Development Plan for the district as shown in Exhibit B is approved.

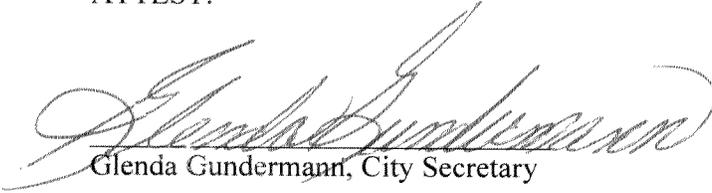
Section 3. That the City's official zoning map is amended to show the change in zoning district classification.

APPROVED on first consideration on November 06, 2012.

ADOPTED upon second consideration on November 20, 2012.

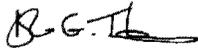

James A. Thompson, Mayor

ATTEST:



Glenda Gundermann, City Secretary

Reviewed for Legal Compliance:



Attachments:	Exhibit A	Metes and Bounds Description
	Exhibit B	Final Development Plan
	Exhibit B-1	General Site Layout Plan
	Exhibit B-2	Final Site Layout Plan
	Exhibit B-3	Plaza Details
	Exhibit B-4	Bicycle Circulation Plan
	Exhibit B-5	Plant List
	Exhibit B-6	Pedestrian Circulation Plan
	Exhibit B-7	Building Elevations
	Exhibit B-8	Garage and Carport Elevations
	Exhibit B-9	Buffer Tree Plan (District C)

EXHIBIT A
METES & BOUNDS DESCRIPTIONS

Tract 1: 10.945 Acre Multi-family Residential Tract (pg 1 of 3)

EXHIBIT A

February 28, 2012
Job No. 1800-0129A

DESCRIPTION OF
10.945 ACRES
TELFAIR APARTMENT
COMMERCIAL TRACT

Being 10.945 acres of land located in the Alexander Hodge League, Abstract 32, Fort Bend County, Texas, more particularly being a portion of the residue of a called 1651.239 acre tract conveyed to NNP-Keepsake, L.P., by an instrument of record in File No. 2003149525, Official Public Records, of said Fort Bend County (F.B.C.O.P.R.), said NNP-Keepsake, L.P. now known as NNP-Telfair LP, by instrument of record in File No. 2006007940, F.B.C.O.P.R., said 10.945 acres being more particularly described by metes and bounds as follows (all bearings referenced to the Texas State Plane Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

COMMENCING for reference at the northwest corner of Wescott Avenue (80 feet wide) as shown on Wescott Avenue Phase 4 Street Dedication, a subdivision of record on Plat No. 20110182, Plat Records, of said Fort Bend County (F.B.C.P.R.), said point being on a north line of that certain called 86.591 acre tract conveyed to Fort Bend County Levee Improvement District No. 17, by an instrument of record in File No. 2008014459, F.B.C.O.P.R.;

Thence, South 14° 49' 54" West, 442.58 feet to the POINT OF BEGINNING of the herein described tract;

Thence, South 14° 49' 54" West, 70.05 feet to a point for corner, the beginning of a curve;

Thence, 310.56 feet along the arc of a tangent curve to the right having a radius of 1310.00 feet, a central angle of 13° 34' 59" and a chord which bears South 21° 37' 24" West, 309.83 feet to a point for corner;

Thence, South 77° 26' 41" West, 375.86 feet to a point for corner;

Thence, South 86° 12' 08" West, 417.12 feet to a point for corner;

Tract 1: 10.945 Acre Multi-family Residential Tract (pg 2 of 3)

10.945 acres

February 28, 2012
Job No. 1800-0129A

Thence, North 03° 42' 46" West, 28.61 feet to a point for corner;

Thence, South 86° 12' 06" West, 40.03 feet to a point for corner;

Thence, North 03° 47' 54" West, 382.50 feet to a point for corner;

Thence, North 86° 12' 06" East, 22.03 feet to a point for corner, the beginning of a curve;

Thence, 334.66 feet along the arc of a tangent curve to the left having a radius of 510.00 feet, a central angle of 37° 35' 51" and a chord which bears North 67° 24' 11" East, 328.69 feet to a point for corner;

Thence, North 48° 36' 15" East, 100.00 feet to a point for corner, the beginning of a curve;

Thence, 264.97 feet along the arc of a tangent curve to the right having a radius of 270.00 feet, a central angle of 56° 13' 39" and a chord which bears North 76° 43' 04" East, 254.46 feet to a point for corner;

Thence, South 75° 10' 06" East, 117.20 feet to a point for corner, the beginning of a curve;

Thence, 116.19 feet along the arc of a tangent curve to the right having a radius of 270.00 feet, a central angle of 24° 39' 22" and a chord which bears South 62° 50' 25" East, 115.29 feet to a point for corner;

Thence, South 50° 30' 44" East, 50.00 feet to a point for corner, the beginning of a curve;

Tract 1: 10.945 Acre Multi-family Residential Tract (pg 3 of 3)

10.945 acres

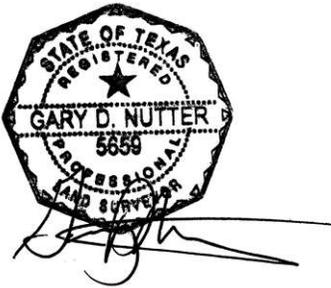
February 28, 2012
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Thence, 73.71 feet along the arc of a tangent curve to the left having a radius of 330.00 feet, a central angle of $12^{\circ} 47' 55''$ and a chord which bears South $56^{\circ} 54' 41''$ East, 73.56 feet to a point for corner, the beginning of a reverse curve;

Thence, 47.73 feet along the arc of a tangent curve to the right having a radius of 35.00 feet, a central angle of $78^{\circ} 08' 33''$ and a chord which bears South $24^{\circ} 14' 22''$ East, 44.12 feet to the POINT OF BEGINNING and containing 10.945 acres of land.

This description is based on record information only and does not reflect an on the ground survey. Corners were not set at the client's request.

LJA Engineering, Inc.



Tract 2: 0.037 Acre Plaza Tract (pg 1)

July 31, 2012
Job No. 1800-0012A

DESCRIPTION OF
0.037 ACRE
(1,600 SQUARE FEET)

Being 0.037 acre (1,600 square feet) of land located in the Alexander Hodge League, Abstract 32, Fort Bend County, Texas, more particularly being a portion of the residue of a called 1651.239 acre tract conveyed to NNP-Keepsake, L.P., by an instrument of record in File No. 2003149525, Official Public Records of said Fort Bend County, Texas (F.B.C.O.P.R.), said NNP-Keepsake, L.P. now known as NNP-Telfair LLC, by Certificate of Conversion, effective March 22, 2012, said 0.037 acre (1,600 square feet) being more particularly described by metes and bounds as follows (all bearings referenced to the Texas State Plane Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

COMMENCING for reference at a 5/8-inch iron rod stamped "LJA ENG" previously found marking the northerly corner of a radial cutback at the northeast corner of the intersection of University Boulevard (called 130 feet wide at this point) as shown on University Boulevard Phase One, a subdivision of record in Plat No. 20060062, Plat Records, of said Fort Bend County (F.B.C.P.R.) and Telfair Avenue as shown on Telfair Avenue Street Dedication, a subdivision of record in Plat No. 20060064, F.B.C.P.R., said point being approximately 865 feet north from the southeast corner of said University Boulevard Phase One;

Thence, with the east right-of-way line of said University Boulevard, North 03° 47' 54" West, 494.46 feet to a point;

Thence, North 86° 12' 06" East, departing said easterly right-of-way line, 327.00 feet to the POINT OF BEGINNING of the herein described tract;

Thence, North 86° 12' 06" East, 40.00 feet to a point for corner;

Thence, South 03° 47' 54" East, 40.00 feet to a point for corner;

Thence, South 86° 12' 06" West, 40.00 feet to a point for corner;

Tract 2: 0.037 Acre Plaza Tract (pg 2 of 2)

0.037 acre

July 31, 2012
Job No. 1800-0012A

Thence, North 03° 47' 54" West, 40.00 feet to the POINT OF BEGINNING and containing 0.037 acre (1,600 square feet) of land.

This description is based on record information only, and corners were not set at the client's request.

LJA Engineering, Inc.

Tract 3: 0.487 Buffer Greenbelt Tract (pg 1 of 3)

July 31, 2012
Job No. 1800-0012A

DESCRIPTION OF
0.487 ACRE
(21,209 SQUARE FEET)

Being 0.487 acre (21,209 square feet) of land located in the Alexander Hodge League, Abstract 32, Fort Bend County, Texas, more particularly being a portion of the residue of a called 1651.239 acre tract conveyed to NNP-Keepsake, L.P., by an instrument of record in File No. 2003149525, Official Public Records of said Fort Bend County, Texas (F.B.C.O.P.R.), said NNP-Keepsake, L.P. now known as NNP-Telfair LLC, by Certificate of Conversion, effective March 22, 2012, said 0.487 acre (21,209 square feet) being more particularly described by metes and bounds as follows (all bearings referenced to the Texas State Plane Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

COMMENCING for reference at a 5/8-inch iron rod stamped "LJA ENG" previously found marking the northerly corner of a radial cutback at the northeast corner of the intersection of University Boulevard (called 130 feet wide at this point) as shown on University Boulevard Phase One, a subdivision of record in Plat No. 20060062, Plat Records, of said Fort Bend County (F.B.C.P.R.) and Telfair Avenue as shown on Telfair Avenue Street Dedication, a subdivision of record in Plat No. 20060064, F.B.C.P.R., said point being approximately 865 feet north from the southeast corner of said University Boulevard Phase One;

Thence, with the east right-of-way line of said University Boulevard, North 03° 47' 54" West, 1,188.26 feet to a point;

Thence, North 86° 12' 06" East, departing said easterly right-of-way line, 918.53 feet to the POINT OF BEGINNING of the herein described tract;

Thence, North 15° 52' 47" East, 43.48 feet to a point for corner;

Thence, South 75° 05' 10" East, 192.84 feet to a point for corner, the beginning of a curve;

Tract 3: 0.487 Buffer Greenbelt Tract (pg 2 of 3)

0.487 acre

July 31, 2012
Job No. 1800-0012A

Thence, 81.17 feet along the arc of a non-tangent curve to the left having a radius of 383.50 feet, a central angle of $12^{\circ} 07' 38''$ and a chord which bears South $72^{\circ} 51' 13''$ East, 81.02 feet to a point for corner;

Thence, South $76^{\circ} 06' 30''$ East, 124.75 feet to a point for corner, the beginning of a curve;

Thence, 26.01 feet along the arc of a tangent curve to the left having a radius of 724.00 feet, a central angle of $02^{\circ} 03' 29''$ and a chord which bears South $77^{\circ} 08' 14''$ East, 26.00 feet to a point for corner;

Thence, South $75^{\circ} 05' 10''$ East, 39.27 feet to a point for corner;

Thence, South $14^{\circ} 46' 44''$ West, 58.08 feet to a point for corner, the beginning of a curve;

Thence, 66.35 feet along the arc of a non-tangent curve to the right having a radius of 35.00 feet, a central angle of $108^{\circ} 36' 41''$ and a chord which bears South $69^{\circ} 08' 15''$ West, 56.85 feet to a point for corner, the beginning of a compound curve;

Thence, 28.48 feet along the arc of a tangent curve to the right having a radius of 270.00 feet, a central angle of $06^{\circ} 02' 41''$ and a chord which bears North $53^{\circ} 32' 04''$ West, 28.47 feet to a point for corner;

Thence, North $50^{\circ} 30' 44''$ West, 50.00 feet to a point for corner, the beginning of a curve;

Thence, 142.01 feet along the arc of a tangent curve to the left having a radius of 330.00 feet, a central angle of $24^{\circ} 09' 22''$ and a chord which bears North $62^{\circ} 50' 25''$ West, 140.92 feet to a point for corner;

Tract 3: 0.487 Buffer Greenbelt Tract (pg 3 of 3)

0.487 acre

July 31, 2012
Job No. 1800-0012A

Thence, North 75° 10' 06" West, 117.20 feet to a point for corner, the beginning of a curve;

Thence, 92.91 feet along the arc of a tangent curve to the left having a radius of 330.00 feet, a central angle of 16° 07' 53" and a chord which bears North 83° 14' 03" West, 92.60 feet to the POINT OF BEGINNING and containing 0.487 acre (21,209 square feet) of land.

This description is based on record information only, and corners were not set at the client's request.

LJA Engineering, Inc.

EXHIBIT B
FINAL DEVELOPMENT PLAN
Telfair Exchange Lofts & Lake Greenbelt

A. Contents. This general development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations for Multi-Family
- Landscape and Pedestrian Circulation Regulations
- Building Regulations

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-2 (General Business) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-2 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this Final Development Plan have the meaning established by the Development Code. In this ordinance:

District B means District B, south of Branford Place, as shown on the General Development Plan for the Telfair Central Lakefront District.

District C means District C, north of Branford Place, as shown on the General Development Plan for the Telfair Central Lakefront District.

Exchange at Telfair – Phase II shall mean the adjacent retail planned development on University Boulevard between Wescott Drive and Branford Place, established per the Final Development Plan by City of Sugar Land Ordinance No. 1850.

General Development Plan means the General Development Plan for the Telfair Central Lakefront District, as established by City of Sugar Land Ordinance No. 1826.

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Exhibit B-1:	<i>General Site Layout Plan</i>
Exhibit B-2:	<i>Final Site Layout Plan</i>
Exhibit B-3:	<i>Plaza Details</i>
Exhibit B-4:	<i>Bicycle Circulation Plan</i>
Exhibit B-5:	<i>Plant List</i>
Exhibit B-6:	<i>Pedestrian Circulation Plan</i>
Exhibit B-7:	<i>Building Elevations</i>
Exhibit B-8:	<i>Garage and Carport Elevations</i>
Exhibit B-9:	<i>Buffer Tree Plan (District C)</i>

4. As shown on **Exhibit B-1, *General Site Layout Plan***, the PD encompasses the following two tracts:
 - (a) Within District B, 10.982 acres at the southwest corner of Wescott Avenue and Branford Place.
 - (b) Within District C, 0.487 acres along Telfair Lake at the northwest corner of Wescott Avenue and Branford Place.

C. Land Uses.

1. Permitted land uses within District B are listed below. All other land uses are prohibited.

<u>Use</u>	<u>SIC Code</u>
Dwellings – Multi-Family	99 (Non-Classifiable)
Parks and Recreational Facilities, Public or Private	99 (Non-Classifiable)

2. The only permitted use within District C are parks and recreational facilities, SIC Code 99 (non-classifiable). Such facilities shall exclude enclosed buildings.
3. Per the General Development Plan, total acreage for multi-family residential and townhomes in the Telfair Center Lakefront District shall not exceed 20 acres. This Final Development Plan encompasses 10.945 acres, leaving a balance of 9.055 acres.
4. Maximum number of dwelling units within the PD shall not exceed 330.

D. Development Regulations for Multi-Family – Multi-family use within District B of the PD shall be developed in accordance with the following development regulations:

1. Maximum height of structures: 4 stories, and no more than 60 feet plus 10 feet for a parapet.
2. Minimum building setbacks:
 - (a) Abutting Wescott Avenue: 15 feet
 - (b) Abutting Branford Place: 10 feet
 - (c) Side and rear yards: 5 feet

3. Minimum parking lot setbacks:
 - (a) Public street lot lines: 15 feet
 - (b) All other property lines: 6 feet
4. Paving:
 - (a) All parking lots, driveways, and vehicle use areas must be constructed of concrete.
 - (b) Interlocking, multicolored pavers will be used within the main vehicular entrance off Branford Place and the parking area in front of the leasing office. Pavers will be supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
5. Bicycle accommodations within District B, as shown on [Exhibit B-2, Final Site Layout Plan](#), [Exhibit B-3, Plaza Details](#), and [Exhibit B-4, Bicycle Circulation Plan](#):
 - (a) Open space plazas, per Section E.9 below, shall incorporate bicycle parking spaces.
 - (b) Bicycle parking spaces shall include racks or other structures intended for parking bicycles with a minimum of 4 spaces in any one parking area.
 - (c) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
 - (d) Interior bicycle parking shall be provided under stairwells in building corridors.
6. Signage to comply with Chapter 4 of the Development Code.
7. Vehicular access gates, as shown on [Exhibit B-2, Final Site Layout Plan](#):
 - (a) Resident entrance/exit gates on Branford Place shall include two entrance lanes with the gates set back at least 60 feet from the street right-of-way line.
 - (b) Resident exit-only gate on Wescott shall be set back at least 21 feet from the street right-of-way line. This gate will also provide emergency ingress and egress.
8. Developer shall achieve Bronze level certification utilizing the National Association of Home Builders' *National Green Building Program* as the basis for site design and construction requirements.

E. Landscape and Pedestrian Circulation Regulations – The PD shall be developed in accordance with the following landscape and pedestrian circulation regulations:

1. Minimum widths for landscape buffers, continuous along:
 - (a) Wescott Avenue: 15 feet
 - (b) Branford Place 10 feet
 - (c) All other property lines: 6 feet
2. Landscape buffers may include pedestrian walkways and plazas, and may be used for future transit stops.
3. Minimum 15% open space of lot area, inclusive of landscape buffers.

4. Plant species used to satisfy the requirements of the PD shall be those listed on [Exhibit B-5, Plant List](#).
5. For District B, landscape irrigation shall include drip irrigation in designated areas and water-saving irrigation programmer, in an effort to minimize usage and reduce waste.
6. For District B, one shade tree shall be located in the front yard landscape buffer for each 30 feet of lot width, or portion thereof, measured along the front lot line. The trees may be clustered or spaced linearly; they need not be placed evenly.
7. Within District C as shown on [Exhibit B-9, Buffer Tree Plan](#), shade trees shall be planted at a minimum of one tree for every 20 feet of frontage on Branford Place and Wescott Avenue, or portion thereof. Trees may be spaced varying distances apart but shall have a maximum spacing of 25 feet as measured along the right-of-way line. At least 8 trees within District C shall have a minimum 6-inch caliper and minimum 12-foot height at planting. The remaining required trees shall meet the requirements established for shade trees in E. 8. below.
8. Shade trees shall have a minimum 4-inch caliper and minimum 10-foot height at planting.
9. Bicycle/pedestrian plazas, as shown on [Exhibit B-3, Plaza Details](#) and [Exhibit B-6, Pedestrian Circulation Plan](#):
 - (a) An open space plaza shall be located in the southwest corner of the site adjacent to the eastern boundary of The Exchange at Telfair – Phase II. The plaza will serve as a pedestrian gateway between Telfair Exchange Lofts and The Exchange at Telfair – Phase II.
 - (b) Three open space plazas shall be located along Branford Place near separate building entrances.
 - (c) One open space plaza shall be located along Wescott Avenue near a pedestrian gate.
 - (d) Each plaza shall have a minimum size of 500 square feet.
 - (e) Each plaza shall include a decorative paving pattern.
 - (f) Each plaza shall include at least 2 benches, at least 2 shade trees and other pedestrian amenities.
 - (g) Bicycle parking shall be provided in each plaza per Section D.5 above.
10. Sidewalks: Continuous sidewalks with a minimum 6-foot width shall be provided along Branford Place. A 10-foot wide sidepath shall be provided along Wescott Avenue.
11. Pedestrian walkways:
 - (a) Pedestrian walkways required by this section shall meet the following criteria:
 - (i) Minimum 5-foot width;
 - (ii) Readily visible and free of encroachment by parked vehicles;
 - (iii) Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
 - (iv) Predominantly shaded with shade trees at one per 30 linear feet of walkway or building canopies;
 - (v) Lighted with pedestrian-scaled fixtures; and
 - (b) A pedestrian walkway shall connect a building entrance to the public street sidewalk. Pedestrian plaza will be provided along the walkway per Item 8(b) above.

- (c) As shown on [Exhibit B-6, *Pedestrian Circulation Plan*](#), a pedestrian walkway shall extend along the west perimeter of the PD within District B, connecting the Branford Place sidewalk to the pedestrian plaza adjacent to The Exchange at Telfair-Phase II.
- (d) Required buffer trees (per [Exhibit B-9, *Buffer Tree Plan*](#)), pedestrian walkways, and plazas shall be in place prior to issuance of a Certificate of Building Occupancy for structures within the PD.

F. Building Regulations – As shown on [Exhibit B-7, *Building Elevations*](#), and [Exhibit B-8, *Garage and Carport Elevations*](#), buildings within District B of the PD shall be developed in accordance with the following building regulations:

1. Buildings shall be designed in accordance with the following criteria:
 - (a) Break up the horizontal and vertical building planes through offsets, changes in building materials, colors and textures, or other methods; and
 - (b) Incorporate architectural details that create shade and cast shadows to provide visual relief.
 - (c) Facades greater than 100 feet in length that face public streets shall incorporate offsets having a minimum depth of at least 5 feet, and extending at least 20% of the length of the façade.
 - (d) No uninterrupted length of a street-facing façade shall exceed 100 feet.

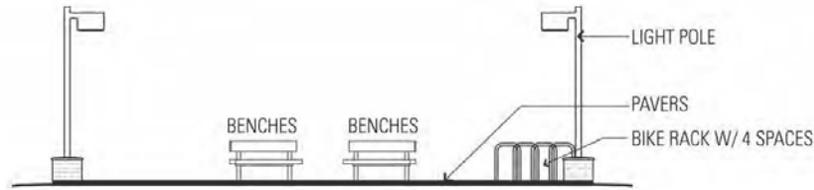
2. Building façade finishes:
 - (a) Primary Finish means an exterior finish consisting of brick, stone (natural, cast, or cultured-textured), stucco and glass.
 - (b) Secondary Finish means an exterior finish consisting of wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), and fiber cement siding.
 - (c) Primary Finishes shall comprise at least 85% of each facade. The remaining portion of an exterior wall that is not constructed of a Primary Finish must be constructed of a Secondary Finish.
 - (d) No single building finish material shall cover more than 80% of the front of any building.
 - (e) Use of architectural metals is limited to canopies, parapet walls, roof systems, and miscellaneous trim work, and such use shall meet the durability standards of the Development Code.
 - (f) The Director may approve alternative Primary or Secondary Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or Secondary Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.
 - (g) The following building materials shall not be used for a Primary or Secondary Finish:
 - (i) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic or fiberglass panels.
 - (ii) Unfired or underfired clay, sand, or shale brick.
 - (iii) Smooth or untextured concrete surfaces.
 - (iv) Exterior Insulated Finish Systems (E.I.F.S.)

3. All building and garage facades shall be of complementary architectural design, color and materials.

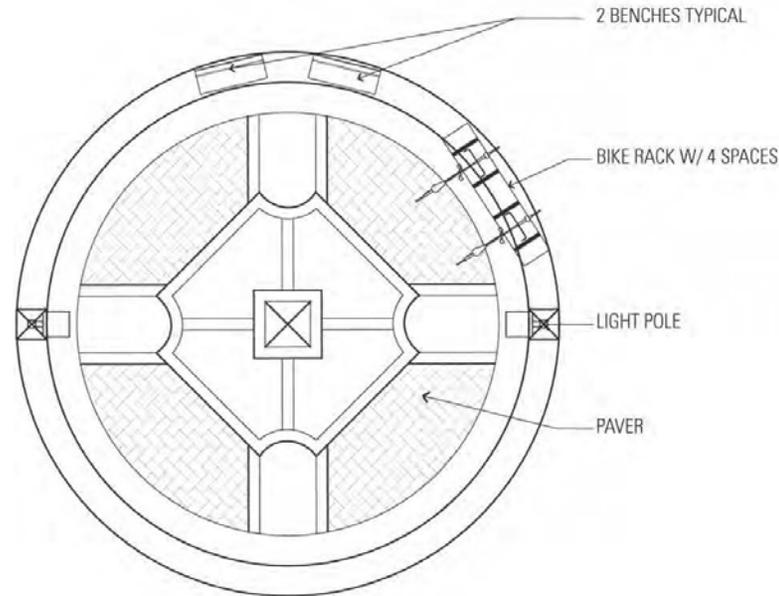
4. Screening walls, wing walls, columns, and similar building extensions and supports shall be of complementary architectural design, color and materials as the building or structure to which they are attached.
5. Carports:
 - (a) Single column, powder-coated metal support structure
 - (b) Metal roof deck
 - (c) Powder-coated metal trim and fascia
6. Patios and outdoor balconies:
 - (a) No clothes lines, bedding, personal clothing or cleaning items shall be hung or left on patios and/or balconies at any time.
 - (b) Bicycles, skates, skateboards, surfboards and other personal belongings shall be kept inside the buildings and not stored on the patios and balconies.
 - (c) No signs or advertising materials shall be posted on or from a balcony railing.

EXHIBIT B-1 GENERAL SITE LAYOUT PLAN





TYPICAL SECTIONS



TYPICAL PLAN

NOTES

MINIMUM 2 TREES PER PLAZA IN
ADDITION TO STREET TREE
REQUIREMENTS

MINIMUM 500 SQ. FT. AREA PER PLAZA

PEDESTRIAN & BIKE PLAZA

SUEBA CONSULTING, INC.
8225 EL MOO STREET
HOUSTON, TEXAS 77054-4620
TELEPHONE 713.97.7283
FAX 713.97.7161



Exhibit
B-3
Plaza Details

LEGEND

 INDICATES 10' WIDE PUBLIC TRAIL OR SIDEPATH

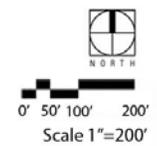
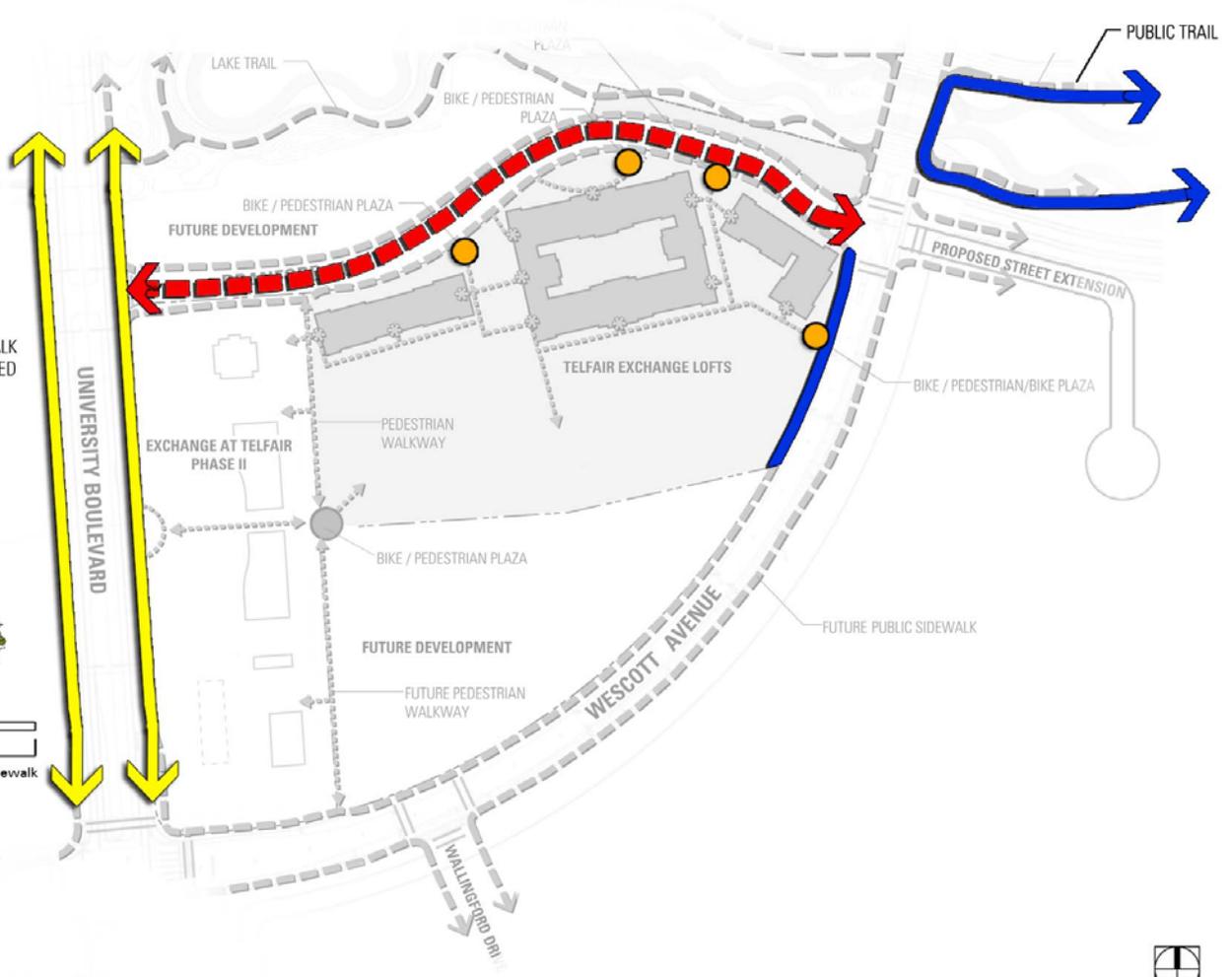
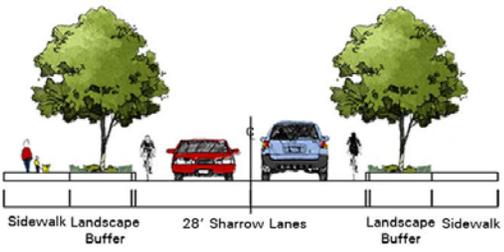
 INDICATES UNIVERSITY BOULEVARD PARKWAY TRAIL*

*THE CITY OF SUGAR LAND HAS INDICATED IN ITS "THE 2007 HIKE AND BIKE TRAILS MASTER PLAN FOR SUGAR LAND", AT LEAST ONE OF THE SIDEWALK CORRIDORS ALONG UNIVERSITY SHALL BE WIDENED TO CONVERT IT INTO A PARKWAY TRAIL OF 8'.

 BICYCLE PARKING

 INDICATES SHARED LANE MARKINGS (PER AASHTO STANDARDS)

60' R.O.W BRANFORD PLACE STREET CROSS SECTION



SUEBA CONSULTING, INC.
 8235 EL RIO STREET
 HOUSTON, TEXAS 77054-4630
 TELEPHONE 713.747.2523
 FAX 713.747.2705



Exhibit
B-4
 Bicycle Circulation Plan

EXHIBIT B-5
PLANT LIST for TELFAIR EXCHANGE LOFTS

The following is a list of plant materials. If the property owner requests plants that are not contained in this list, the Planning Director may approve them if they are determined to be similarly hardy.

Shade Trees

Bald Cypress – *Taxodium distichum* Bosque
Elm – *Ulmus parvifolia* ‘Bosque’ Bur Oak –
Quercus macrocarpa
Cedar Elm – *Ulmus crassifolia*
Drake Elm – *Ulmus parvifolia* ‘Drake’ Live
Oak – *Quercus virginiana* Shumard Oak –
Quercus shumardii Magnolia – *Magnolia sp.*
Monterrey Oak – *Quercus polymorpha*
Pecan – *Carya illinoensis* Sweetgum –
Liquidambar styraciflua Water Oak –
Quercus nigra

Ornamental Trees

American Holly – *Ilex opaca*
Bradford Pear – *Pyrus calleryana* ‘Bradford’
Crape Myrtle – *Lagerstroemia sp.*
Redbud – *Cercis canadensis* Yaupon
Holly – *Ilex vomitoria*
Evergreen Chinese Elm – *Ulmus parvifolia*

Shrubs for Screening and Buffering

Hollies – *Hollies sp.* Magnolia –
Magnolia sp. Oleander – *Oleander sp.*
Pittosporum – *Pittosporum tobira*
Southern Wax Myrtle – *Myrica cerifera*
Texas Silverleaf Sage – *Leucophyllum sp.*

Shrubs as a Single Specimen or for Mass Plantings

Azalea – *Rhododendron sp.*
Abelia – *Abelia x grandiflora*
Barberry – *Berberis thunbergii* ‘atropurpurea’
Butterfly Iris – *Dietes grandiflora*
Dwarf Wax Myrtle – *Myrica cerifera* var. *pumila* Dwarf
Pittosporum – *Pittosporum tobira wheeleri* Fatsia –
Fatsia japonica
Fringe Flower – *Loropetalum chinense*
Hollies – *Hollies sp.*
Indian Hawthorne – *Raphiolepis indica*
Muhly Grass – *Muhlenbergia sp.* Nandina –
Nandina sp.

Shrubs - continued

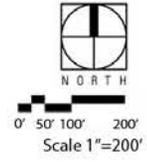
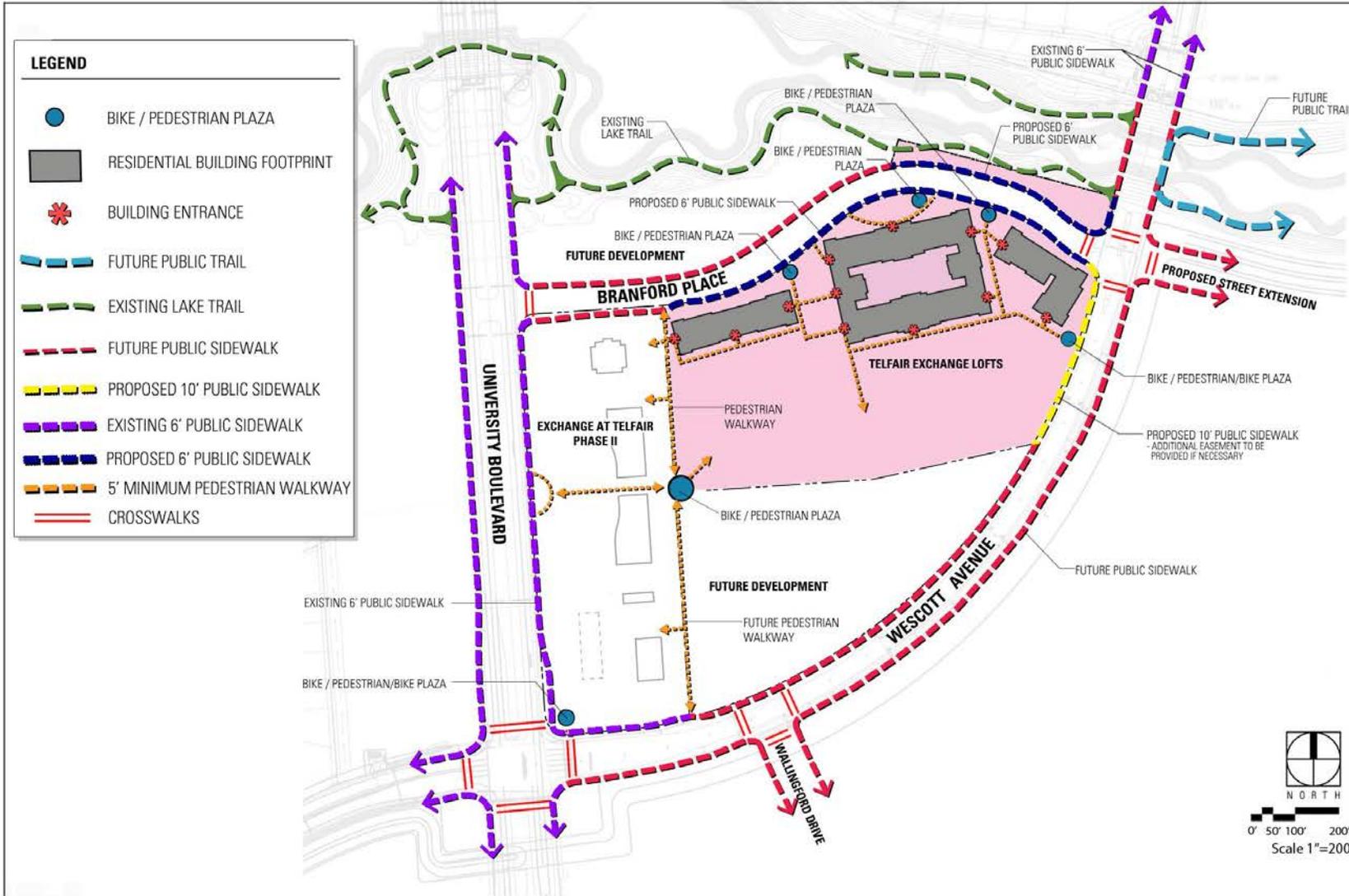
Pigmy Date Palm – *Phoenix roebelenii*
Pindo Palm – *Butia capitata*
Rosemary – *Rosmarinus officinalis*
Sago Palm – *Cycas revoluta*
Variegated Pittosporum – *Pittosporum tobira variegata*

Vines

Algerian Ivy – *Hedera canariensis*
Carolina Jessamine – *Gelsemium sempervirens*
Climbing Fig – *Ficus pumila*
Confederate Star Jasmine – *Trachelospermum jasminoides*
English Ivy – *Hedera helix*
Honeysuckle – *Lonicera sp.*
Trumpet Creeper – *Campsis radicans*
Wisteria – *Wisteria sp.*

Groundcovers

Ajuga – *Ajuga reptans*
Algerian Ivy – *Hedera canariensis*
Asian Jasmine – *Trachelospermum asiaticum*
Boston Fern – *Nephrolepis exaltata*
Daylily – *Hemerocallis sp.*
English Ivy – *Hedera helix*
Holly Fern – *Cyrtomium falcatum*
Honeysuckle – *Lonicera sp.*
Katie Ruellia – *Ruellia brittoniana 'Katie'*
Knockout Rose – *Rosa sp.*
Lamb's Ear – *Stachys byzantina*
Liriope/Variiegated Liriope – *Liriope muscari/‘variegata’*
Monkey Grass – *Ophiopogon japonica*
New Gold Lantana – *Lantana sp.*
Society Garlic – *Tulbaghia violacea*
Wood Fern – *Dryopteris sp.*



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Exhibit
B-6
 Pedestrian
 Circulation Plan



East Building Elevation

1/32" = 1' - 0"



Elevation Detail

- COMPOSITION SHINGLE ROOF
- METAL ACCENT ROOF
- PRECAST MASONRY
- BRICK MASONRY
- FIBER CEMENT SIDING (LESS THAN 5% OF TOTAL BUILDING MATERIALS)
- BUILDING FAÇADE MATERIALS**
(GREATER THAN 85% MASONRY AND/OR GLASS INCLUDES BRICK, STONE, AND STUCCO)
- ARCHITECTURAL METAL WORK LIMITED TO ENTRY CANOPY, RAILS & ACCENT METAL ROOF
- DECORATIVE WATER TABLE BAND
- DOUBLE PANE INSULATED GLASS
- STUCCO PANEL
- METAL RAIL
- STONE MASONRY

1" = 20"



West Building Elevation

1/32" = 1' - 0"



Center Building Elevation

1/32" = 1' - 0"

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Exhibit
B-7
Building Elevations



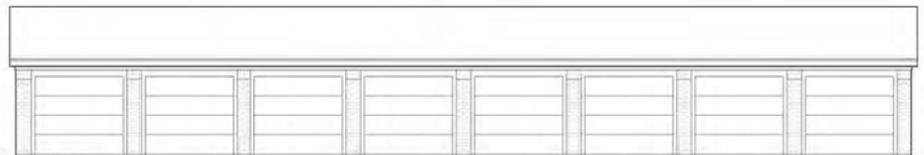
Rear Elevation (Facing Wescott Avenue & Exchange at Telfair - Phase II)

- COMPOSITION SHINGLES
- 1x8 FIBER CEMENT FASCIA
- BRICK MASONRY FIELD PATTERN COLOR 1
- BRICK MASONRY DECOR PATTERN COLOR 2

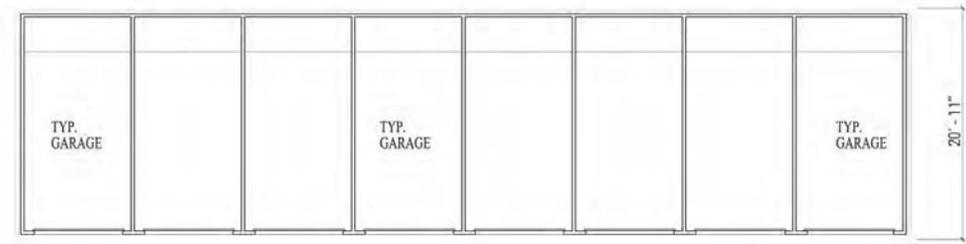


Side Elevation

- COMPOSITION SHINGLES
- 1x8 FIBER CEMENT FASCIA
- BRICK MASONRY FIELD PATTERN COLOR 1
- BRICK MASONRY DECOR PATTERN COLOR 2

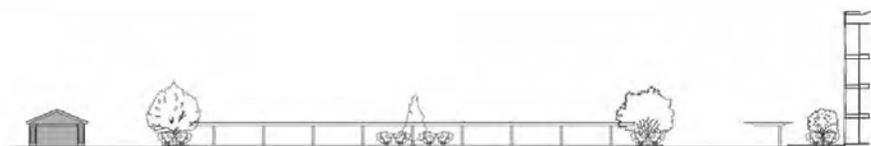


Front Elevation

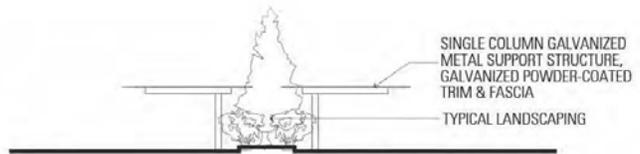


Typical Plan

Garage Plan and Elevations



Typical Carport Elevations



Typical Carport Section

- SINGLE COLUMN GALVANIZED METAL SUPPORT STRUCTURE, GALVANIZED POWDER-COATED TRIM & FASCIA
- TYPICAL LANDSCAPING

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Exhibit
B-8
 Garage and Carport Elevations

480' OF FRONTAGE / 20' = 24 TREES MINIMUM

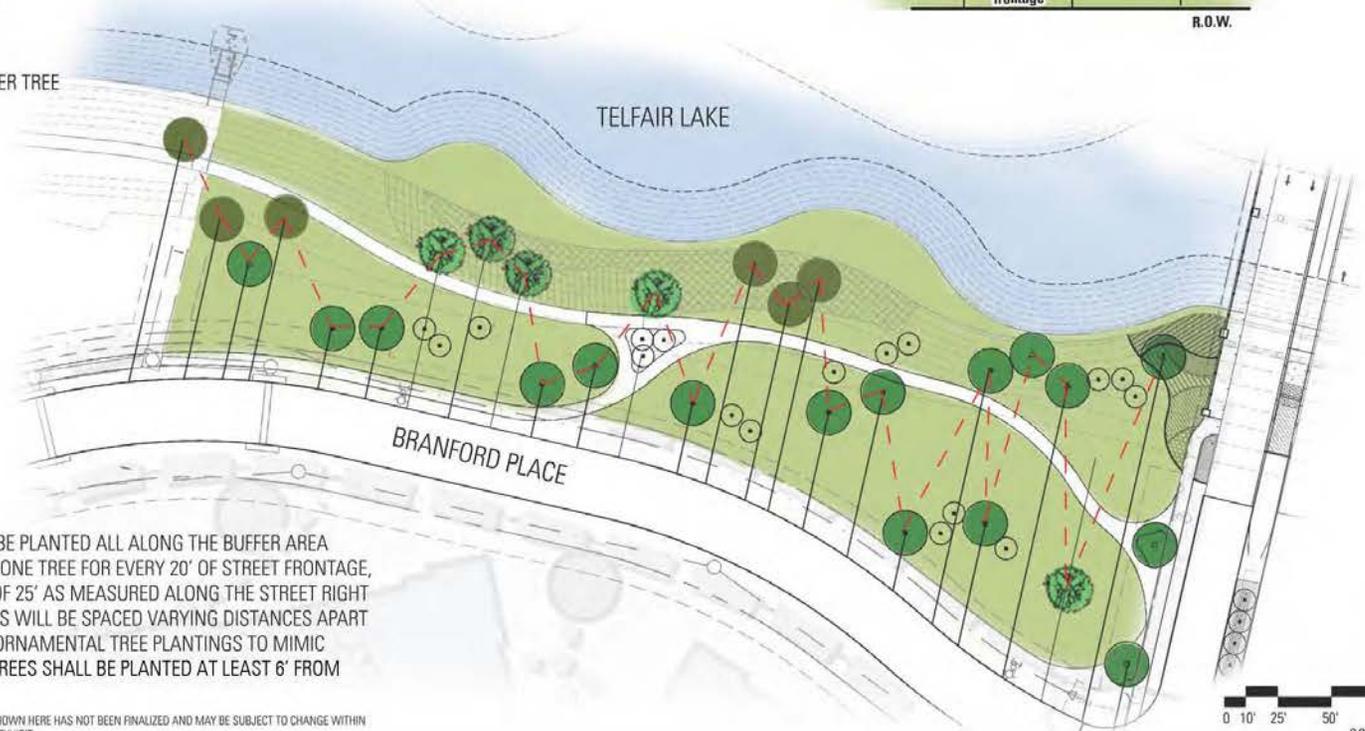
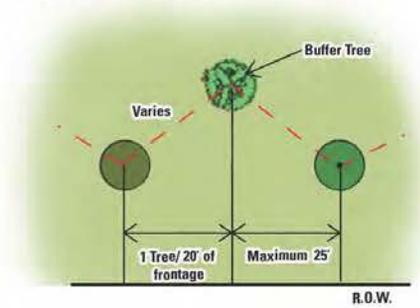
BUFFER TREES SHALL CONSIST OF EXISTING TREES AND SUPPLEMENTAL SHADE TREES WITH A MINIMUM 4" CALIPER, 10' TALL. AT LEAST 8 BUFFER TREES SHALL HAVE A MINIMUM 6" CALIPER AND 12' HEIGHT.

○ PROPOSED ORNAMENTAL TREE (NOT REQUIRED AS PART OF TREE BUFFER).

● EXISTING TREE

● PROPOSED BUFFER TREE

TREE SPACING DIAGRAM



BUFFER TREES SHALL BE PLANTED ALL ALONG THE BUFFER AREA WITH A MINIMUM OF ONE TREE FOR EVERY 20' OF STREET FRONTAGE, MAXIMUM SPACING OF 25' AS MEASURED ALONG THE STREET RIGHT OF WAY. BUFFER TREES WILL BE SPACED VARYING DISTANCES APART AND GROUPED WITH ORNAMENTAL TREE PLANTINGS TO MIMIC EXISTING PLANTING. TREES SHALL BE PLANTED AT LEAST 6' FROM EDGE OF TRAIL.

DISCLAIMER: THE LANDSCAPE PLAN SHOWN HERE HAS NOT BEEN FINALIZED AND MAY BE SUBJECT TO CHANGE WITHIN THE PARAMETERS SET FORTH ON THIS EXHIBIT.

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Exhibit
B-9
 Buffer Tree Plan