

ORDINANCE NO. 1956

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING FROM INTERIM STANDARD SINGLE FAMILY RESIDENTIAL (R-1-I) DISTRICT AND PLANNED DEVELOPMENT (PD) DISTRICT TO EXCHANGE AT TELFAIR PHASE 1 PD FINAL DEVELOPMENT PLAN DISTRICT FOR APPROXIMATELY 10.2 ACRES OF LAND LOCATED AT THE NORTHWEST CORNER OF UNIVERSITY BOULEVARD AND TELFAIR AVENUE WITHIN THE TELFAIR DEVELOPMENT.

WHEREAS, RVI Planning has requested that approximately 10.2 acres of land located at the northwest corner of University Boulevard and Telfair Avenue within the Telfair Development be rezoned from Interim Standard Single Family (R-1-I) District and Planned Development (PD) District to Exchange at Telfair Phase 1 PD Final Development Plan District; and

WHEREAS, the City Planning and Zoning Commission forwarded its final report to the City Council, recommending approval of the rezoning request; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS the City Planning and Zoning Commission recommended granting such requested zoning change; and

WHEREAS, the City Council finds that the zoning request complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; NOW, THEREFORE:

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

Section 1. That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

Section 2. That the zoning district classification of approximately 10.2 acres of land described in Exhibit A, attached to and incorporated into this ordinance by reference, is changed from Interim Single Family Residential zoning district classification (R-1-I) and Planned Development (PD) zoning district classification to Exchange at Telfair Phase 1 PD Final Development Plan zoning district under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

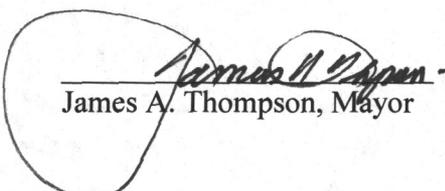
Section 3. That the City's official zoning map be amended to reflect this change in zoning district classification.

Section 4. That the following Exhibits are attached to and incorporated into this ordinance:

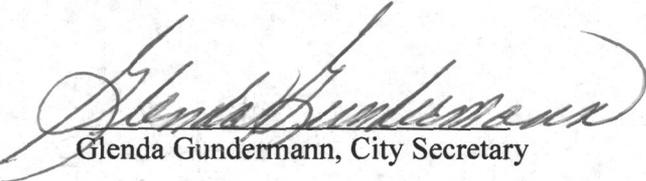
- Exhibit A – Metes and Bounds Legal Description
- Exhibit B – Final Development Plan
- Exhibit B-1 – Final Site Layout Plan
- Exhibit B-2 – Permitted Uses
- Exhibit B-3 – Reserve Configurations
- Exhibit B-4 – Landscape Plan
- Exhibit B-5 – Plant List

READ IN FULL on first consideration on April 1, 2014.

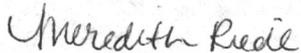
APPROVED upon second consideration on April 15, 2014.


James A. Thompson, Mayor

ATTEST:


Glenda Gundermann, City Secretary

APPROVED AS TO FORM:



Attachment: Exhibit A – Property Description
Exhibit B – Final Development Plan
Exhibit B-1 – Final Site Layout Plan
Exhibit B-2 – Permitted Uses
Exhibit B-3 – Reserve Configurations
Exhibit B-4 – Landscape Plan
Exhibit B-5 – Plant List

EXHIBIT B
FINAL DEVELOPMENT PLAN
The Exchange at Telfair – Phase I

A. Contents. This final development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations
- Landscape Regulations
- Building Regulations

B. General Provisions, Definitions, and Exhibits.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-1 (Neighborhood Business) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-1 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.

2. Except as otherwise provided herein, the words used in this final development plan have the meaning established by the Development Code. In this ordinance:

Arcade means an outdoor covered passageway with a minimum 6-foot width that is intended for pedestrians and lined with shops or offices.

Bank means a freestanding financial institution, including credit unions, with drive-through capability.

Offset means either an abrupt change in the dimension or profile of a building wall, or a horizontal ledge on the face of a wall formed by the diminution of its thickness above.

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

Telfair Main Lake Reserve means the property platted as Reserve “D” out of Telfair Section 34, Telfair Central Residential Planned Development and Telfair Main Lake, plat number 201220042 that includes the existing lake with a perimeter public trail and other pedestrian amenities.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Exhibit B-1: *Final Site Layout Plan*
Exhibit B-2: *Permitted Uses*
Exhibit B-3: *Reserve Configurations*
Exhibit B-4: *Landscape Plan*
Exhibit B-5: *Plant List*

4. As shown on *Exhibit B-1, Final Site Layout Plan*, the PD encompasses 10.119 acres at University Boulevard and Telfair Avenue, designated as Reserves A, B, C and D.

C. Land Uses.

1. Permitted land uses for all reserves are listed in *Exhibit B-2, Permitted Uses*. All other land uses are prohibited.
2. Permitted land uses may be mixed horizontally or vertically within any reserve.
3. Drive-thru lanes and outdoor speakers are prohibited within the PD except for a bank use on Reserve A, the corner tract at University Boulevard and Telfair Avenue, and in accordance with the Landscape and Building Regulations provided herein.

D. Development Regulations – All sites within the PD shall be developed in accordance with the following development regulations:

1. Vehicular access:
 - (a) Vehicular access points are shown on *Exhibit B-1, Final Site Layout Plan*.
 - (b) Access to the lift station will be provided through the westerly driveway on Telfair Avenue.
 - (c) Vehicular cross-access shall be provided between adjacent reserves and as required for Fire Department emergency access. Cross-access easements shall be shown on the plat for the property.

2. Site layout:

- (a) The PD is comprised of four reserves, labeled A, B, C and D, as shown on [Exhibit B-1, Final Site Layout Plan](#).
- (b) Reserve acreages are approximate, and two adjacent reserves may be combined into a single reserve.
- (c) Reserve layout options are shown on [Exhibit B-3, Reserve Configurations](#).

3. Maximum height of structures:

- (a) Reserve A: One story, but no more than 20 feet, exclusive of parapet walls
- (b) Reserves B, C and D: Two and one-half (2½) stories, but no more than 35 feet, exclusive of parapet walls.

4. Minimum building and porte cochere setbacks:

- (a) Abutting University Boulevard and Telfair Avenue 40 feet
- (b) Abutting land used for single family residential: 100 feet
- (c) Abutting all other property lines: 10 feet

5. Minimum parking lot setbacks:

- (a) University Boulevard lot lines: 40 feet
- (b) Telfair Avenue lot lines: 25 feet
- (c) Abutting land used for single family residential: 20 feet
- (d) Abutting Telfair Lake greenbelt reserve lot lines: 10 feet
- (e) All other property lines: 6 feet

6. Paving:

- (a) All parking lots, driveways, and vehicle use areas outside of individual building parcels must be constructed of concrete.
- (b) All driveways and access easements within individual building parcels may be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
- (c) Decorative paving that is integrally colored must be used at each driveway entrance off a public street.

7. Outdoor use:

- (a) All merchandise must be displayed or stored inside a permanent building.
- (b) Outdoor restaurant seating shall not be located between a building and abutting land used for single family residential.

8. Exterior service areas and mechanical equipment to include trash enclosures, compactors and bins, storage tanks and pumps, irrigation controllers and backflow preventers, electrical transformers and control boxes, air-conditioning units, loading zones and truck docks, and shipping and receiving dock doors shall meet the following criteria in accordance with Section 3-9, Accessory Structure Screening Requirements:

- (a) Located at least 50 feet from a public right-of-way or residential lot line; and
- (b) Screened from public rights-of-way using walls, berms, shrubs and trees.

9. Bicycle accommodations:

- (a) Off-street parking for bicycles shall be provided within 50 feet of a public entrance to each building.
- (b) Required minimum number of bicycle parking spaces per reserve shall be 3 or 10% of the required vehicular parking spaces, whichever is greater. (Fractional numbers shall be rounded up to the nearest whole number.)
- (c) Bicycle spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
- (d) Bicycle parking spaces shall include racks, lockers, or other structures intended for parking bicycles with a minimum of 3 spaces in any one location.
- (e) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.

10. Pedestrian walkways:

- (a) A pedestrian walkway shall connect a building entrance to the adjacent public street sidewalk.
- (b) For uses with parking located between the street and the building, at least one walkway shall be provided to and through its associated parking area to connect a building entrance to a public street sidewalk.
- (c) A pedestrian walkway shall extend from one building to another within one reserve and within an adjacent reserve.
- (d) Pedestrian walkways shall extend from the lakeside trail in Telfair Main Lake Reserve to a building entrance in Reserves C and D.
- (e) Pedestrian walkways required in this section shall meet the following criteria:
 - i. Minimum 5-foot width;
 - ii. Readily visible and free of encroachment by parked vehicles;
 - iii. Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
 - iv. Predominantly shaded with either shade trees at one per 30 linear feet of walkway, or building arcades and canopies; and
 - v. Lighted with pedestrian-scaled fixtures.

11. Outdoor speakers for drive-thru bank:

- (a) None permitted within 125 feet of a residential lot line.
- (b) Outdoor speakers for drive-thru lanes shall not be oriented toward adjacent single family residences.

E. Landscape Regulations – The entire PD shall be developed as shown on [Exhibit B-4, Landscape Plan](#), and in accordance with the following landscape regulations:

1. Minimum widths for landscape buffers, continuous along:

- (a) University Boulevard: 40 feet
- (b) Telfair Avenue: 25 feet
- (c) Single family lot lines: 20 feet
- (d) Telfair Main Lake Reserve: 10 feet
- (d) All other property lines: 6 feet

2. Landscape buffers may include vehicular driveways perpendicular to the length of the buffer, freestanding signs, sidepaths, sidewalks and pedestrian walkways. Buffers may also be used for future transit stops.

3. Minimum open space: 20% per reserve (inclusive of landscape buffers).

4. Plant species used to satisfy the requirements of the PD shall be those listed on [Exhibit B-5, Plant List](#).

5. Front and side yard trees:

- (a) Along University Boulevard north of the existing plaza at Telfair Avenue:
 - i. Each reserve shall have one street tree for each 30 feet of lot width, or portion thereof, measured along the street lot line.
 - ii. Required street trees shall generally be located within the 40-foot landscape buffer, but no greater than 60 feet from the street right-of-way line.
 - iii. Each existing magnolia tree that is preserved within the landscape buffer may count toward the required street trees.
 - iv. An existing magnolia tree that is removed to accommodate a driveway shall be transplanted and relocated within the PD, unless the Director determines that the tree should not be transplanted.
- (b) Along Telfair Avenue west of the existing plaza at University Boulevard, Reserve A shall have one shade tree located in the required landscape buffer for each 30 feet of lot width, or portion thereof, measured along the lot line.

- (c) Along the north property line of Reserve D adjacent to the Telfair Main Lake Reserve, one shade tree shall be required for each 30 feet of frontage, or portion thereof, on the Lake Reserve. At least 1/3rd of the required trees shall be planted within the boundary of Reserve D. The remaining trees shall be planted between Reserve D and the lake within the Telfair Main Lake Reserve.
 - (d) Required trees may be clustered or spaced linearly; they need not be placed evenly.
 - (e) Street and shade trees shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted; however, 1/3rd of the required trees along Reserve D shall have a minimum 6-inch caliper.
6. Rear parking lot trees:
- (a) Parking lots within the rear 100-foot building setback shall include one shade tree for each 60 feet of residential lot adjacency, or portion thereof.
 - (b) Required trees need not be placed evenly but at least one shade tree shall align with each adjacent residential lot in order to buffer each existing residence.
 - (c) Each tree shall have a planting area at least 6 feet wide and 162 square feet in size.
 - (d) Trees shall have a minimum 6-inch caliper and minimum 10-foot height as measured at ground level at time of planting.
 - (e) Trees may count toward interior parking lot landscaping required per Section 3-8 of the Development Code.
7. Residential buffer shrubs:
- (a) Shrubs for screening and buffering shall be planted no greater than 10-feet on-center along and within the 20-foot landscape buffer adjacent to existing single family residences as shown on [Exhibit B-4, Landscape Plan](#).
 - (b) Buffer plant material shall have a minimum 6-foot height as measured at ground level when planted.
8. Parking within Reserves C and D that is adjacent to the landscape buffer long Telfair Main Lake Reserve shall have and include a continuous hedge, of a minimum 2-foot height at time of planting, to screen the parking lot from the greenbelt. Breaks are permitted in the shrubs to accommodate required pedestrian connections between the Telfair Main Lake and Reserves C and D.

F. Building Regulations – Buildings within the PD shall be developed in accordance with the following building regulations:

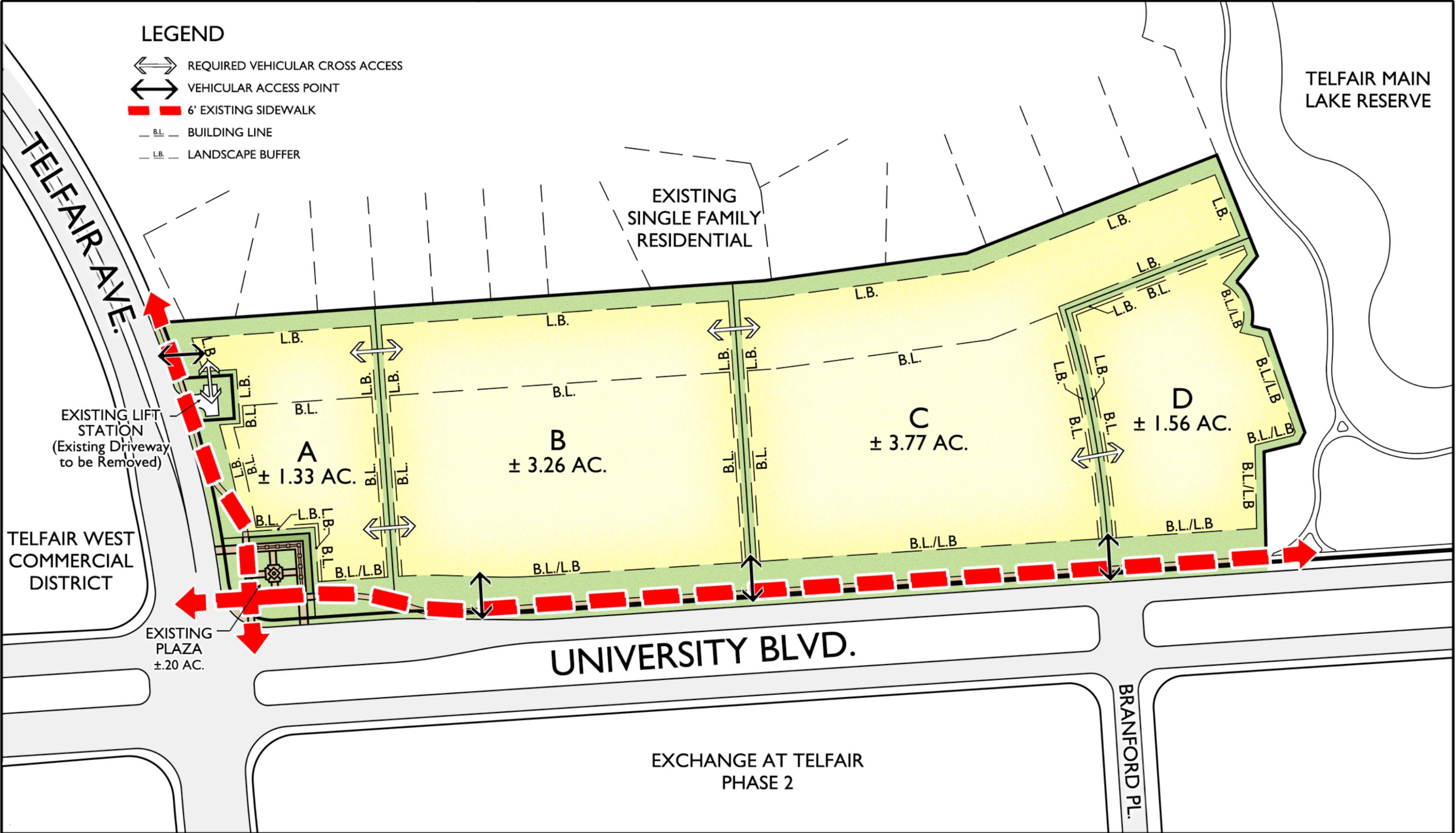
1. Building design criteria:

- (a) Break up the horizontal and vertical building planes through offsets, changes in building materials, colors and textures, or other methods
 - (b) Facades greater than 100 feet in length shall incorporate offsets having a minimum depth of at least 5 feet, and extending at least 20% of the length of the façade.
 - (c) No uninterrupted length of a façade shall exceed 100 feet.
2. Building finishes:
- (a) Primary Finish means an exterior finish consisting of brick, stone (natural, cast, or cultured-textured) and glass.
 - (b) Secondary Finish means an exterior finish consisting of wood, stucco, concrete masonry units (indented, hammered, or split face concrete), concrete panels and fiber cement siding.
 - (c) Primary Finishes shall comprise at least 85% of each façade. The remaining portion of an exterior wall that is not required to be constructed of a Primary Finish must be constructed of a Secondary Finish.
 - (d) No single Primary Finish material shall cover more than 80% of the front of any building.
 - (e) Glass shall not cover more than 50% of a building façade above the first floor that faces adjacent single-family residential use.
 - (f) The Director may approve alternative Primary or Secondary Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or Secondary Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.
 - (g) The following materials shall not be used for a Primary or Secondary Finish:
 - (i) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, corrugated or ribbed metal, plastic, or fiberglass panels;
 - (ii) Galvanized, aluminum coated, zinc-aluminum coated or unpainted exterior metal finishes;
 - (iii) Unfired or underfired clay, sand, or shale brick;
 - (iv) Smooth or untextured concrete finishes;
 - (v) Exterior Insulated Finish Systems (E.I.F.S.).
3. For a bank drive-thru, acoustic treatment shall be provided at the drive-thru soffit to assist in mitigating sound.
4. Arcades shall be provided on at least two sides of an office building to include a street-facing side, and shall extend to any building entrance along such building side.
5. All facades of an individual building and the facades of multiple buildings within a single development shall be of complementary architectural design, color and materials where facing or siding to a public street or pedestrian walkway.

6. Arcades, screening walls, wing walls, columns, and similar building extensions and supports shall be of complementary architectural design, color and materials as the building or structure to which they are attached.
7. On Reserves B, C and D, façade windows above the first floor that face adjacent single family residences shall be placed at least 6 feet above the finish elevation of the upper floor.
8. On Reserve D, any façade facing Telfair Main Lake Reserve shall be at least 25% transparent in order to permit visibility between building occupants and outdoor pedestrians within Telfair Main Lake Reserve. Also, all first floor elevations facing the lake must be at least 40% transparent.

LEGEND

-  REQUIRED VEHICULAR CROSS ACCESS
-  VEHICULAR ACCESS POINT
-  6' EXISTING SIDEWALK
-  B.L. BUILDING LINE
-  L.B. LANDSCAPE BUFFER



TELFAIR MAIN
LAKE RESERVE

EXISTING
SINGLE FAMILY
RESIDENTIAL

TELFAIR AVE.

TELFAIR WEST
COMMERCIAL
DISTRICT

EXISTING
PLAZA
±.20 AC.

UNIVERSITY BLVD.

BRANFORD PL.

EXCHANGE AT TELFAIR
PHASE 2

EXHIBIT B-2
PERMITTED USE LIST
The Exchange at Telfair – Phase I

USES	SIC CODE	NOTE
United States Postal Service	742	
<u>TRANSPORTATION SERVICES & COMMUNICATIONS</u>		
Travel Agencies	4724	
Telephone Communications (No towers)	4812-4813	
Cable and Other Pay Television Services	4841	See Note 1
Radio and Television Broadcasting (No towers)	4832-4833	
Miscellaneous Communications Services	4899	See Note 1
<u>RETAIL</u>		
Paint, Glass, and Wallpaper Stores	5231	See Note 2
Grocery Stores	5411	See Note 2, 3
Meat and Fish Markets	5421	See Note 2
Fruit and Vegetable Markets	5431	See Note 2
Candy, Nut, and Confectionary Stores	5441	See Note 2
Dairy Products Stores	5451	See Note 2
Retail Bakeries	5461	See Note 2
Miscellaneous Food Stores	5499	See Note 2
Men's and Boys' Clothing Stores	5611	See Note 2
Women's Clothing Store	5621	See Note 2
Women's Accessory & Specialty Stores	5632	See Note 2
Children's and Infants' Wear Stores	5641	See Note 2
Family Clothing Stores	5651	See Note 2
Shoe Stores	5661	See Note 2
Miscellaneous Apparel and Accessory Stores	5699	See Note 2
Furniture and Home Furnishing Stores	5712-5719	See Note 2
Household Appliance Stores	5722	See Note 2
Radio, Television, & Computer Stores	5731-5736	See Note 2
Eating Places	5812	See Note 2
Drug Stores and Proprietary Stores	5912	See Note 2
Used Merchandise Stores, only as follows:	5932	See Note 2
• Antique Stores – Retail		
• Book Stores, Secondhand – Retail		
• Furniture Stores, Secondhand – Retail		
• Glassware, Antique – Retail		
• Home Furnishings, Antique – Retail		
• Manuscripts, Rare – Retail		
• Musical Instrument Stores, Secondhand – Retail		

USES	SIC CODE	NOTE
<ul style="list-style-type: none"> • Objects of Art, Antique – Retail • Phonograph and Phonograph Record Stores, Secondhand - Retail 		
Sporting Goods Stores and Bicycle Shops	5941	See Note 2
Book Stores	5942	See Note 2
Stationery Stores	5943	See Note 2
Jewelry Stores	5944	See Note 2
Hobby, Toy, and Game Shops	5945	See Note 2
Camera and Photographic Supply Stores	5946	See Note 2
Gift, Novelty, and Souvenir Shops	5947	See Note 2
Luggage and Leather Goods	5948	See Note 2
Sewing, Needlework, and Piece Goods Stores	5949	See Note 2
Florists	5992	See Note 2
News Dealers and Newsstands	5994	See Note 2
Optical Goods Stores	5995	See Note 2
Miscellaneous Retail Stores (Not elsewhere classified), only as follows:	5999	See Note 2
<ul style="list-style-type: none"> • Architectural Supplies • Art Dealers • Artificial Flowers • Artists' Supply and Material Stores • Autograph and Philatelist Supply Stores • Baby Carriages • Banner Shops • Cake Decorating Supplies • Candle Shops • Coin Shops (Except mail order) • Cosmetics Stores • Electric Razor Shops • Flag Shops • Gem Stones (Rough) • Hearing Aids • Orthopedic and Artificial Limb Stores • Pet Food Stores • Pet Shops (No outdoor runs allowed) • Picture Frames (Ready-made) • Police Supply Stores • Religious Goods Stores (Other than books) • Rock and Stone Specimens • Rubber Stamp Stores • Stamps, Philatelist (Except mail-order) • Stones, Crystalline (Rough) • Telephone Stores • Telescopes • Trophy Shops • Typewriter Stores 		

USES	SIC CODE	NOTE
<u>FINANCE, INSURANCE, AND REAL ESTATE</u>		
Commercial Banks	6021-6029	
Savings Institutions	6035-6036	
Credit Unions	6061-6062	
Foreign Bank & Branches & Agencies	6081-6082	
Federal & Federally Sponsored Credit	6111	
Personal Credit Institutions	6141	See Note 4
Business Credit Institutions	6153-6159	
Mortgage Bankers and Brokers	6162-6163	
Security and Commodity Brokers	6211-6289	
Insurance Carriers	6311-6399	
Insurance Agents, Brokers, and Service	6411	
Operators of Dwellings other than Apartment buildings	6514	
Real Estate Agents and Managers	6531	
Title Abstract Offices	6541	
Management Investment Offices, Open-End	6722	
<u>SERVICES</u>		
Garment Pressing, and Agents for Laundries and Drycleaners	7212	See Note 5
Photographic Studios, Portrait	7221	
Beauty Shops	7231	
Barber Shop	7241	
Shoe Repair Shop and Shoeshine Parlors	7251	
Tax Return Preparation	7291	
Miscellaneous Personal Services (Not elsewhere classified), only as follows:	7299	
• Babysitting Services		
• Bartering Services for Individuals		
• Birth Certificate Agencies		
• Car Title and Tag Service		
• Clothing Rental (Except industrial launderers and linen supply)		
• College Clearinghouses		
• Computer Photography or Portraits		
• Consumer Buying Service		
• Costume Rental		
• Dating Service		
• Debt Counseling or Adjustment Service to Individuals		
• Depilatory Salons		
• Diet Workshops		
• Hair Removal (Electrolysis)		
• Marriage Bureaus		
• Porter Service		
• Quilting for Individuals		
• Scalp Treatment Service		

USES	SIC CODE	NOTE
<ul style="list-style-type: none"> • Shopping Service for Individuals • Tanning Salons • Tuxedo Rental • Valet Parking • Wardrobe Service (Except theatrical) • Wedding Chapels, Privately Owned 		
Advertising Agencies	7311	
Outdoor Advertising Services	7312	
Radio, Television & Publishers Representatives	7313	
Advertising Services (Not elsewhere classified), only as follows:	7319	
<ul style="list-style-type: none"> • Aerial Advertising • Bus Card Advertising • Circular Distributing Service • Coupon Distribution • Display Advertising (Except outdoor) • Handbill Distribution Service • Media Buying Service • Poster Advertising Service (Except outdoor) • Samples (Distribution of) • Shopping News Advertising and Distributing Service • Sky Writing • Taxicab Card Advertising • Transit Advertising 		
Credit Reporting and Collection	7322-7323	
Mailing, Reproduction, Stenographic Services	7331-7338	
Services to Buildings	7342-7349	
Medical Equipment Rental and Leasing	7352	
Equipment Rental and Leasing (Not elsewhere classified), only as follows:	7359	
<ul style="list-style-type: none"> • Consumer Electronics, Appliances and Home Garden Tools • Office Machinery and Equipment • Party Supplies including Dishes, Silverware and Tables 		
Personal Supply Services	7361-7363	
Computer Programming and Data Processing Services	7371-7378	
Computer Related Services (Not elsewhere classified), only as follows:	7379	
<ul style="list-style-type: none"> • Computer Consultants • Data Base Developers • Data Processing Consultants • Disk and Diskette Conversion Services • Disk and Diskette Recertification Services • Requirements Analysis (Computer hardware) • Tape Recertification Service 		
Detective, Guard, and Armored Car Services, only as follows:	7381	
<ul style="list-style-type: none"> • Detective Agencies (No fleet vehicle storage) • Investigators, private (No fleet vehicle storage) 		

USES	SIC CODE	NOTE
Security Systems Services (No fleet vehicle storage)	7382	
News Syndicates	7383	
Photofinishing Laboratories	7384	
Miscellaneous Business Services (Not elsewhere classified), only as follows:	7389	
<ul style="list-style-type: none"> • Agents and Brokers for Authors and Nonperforming Artists • Apparel Pressing Service for the Trade • Appraisers, except Real Estate Appraisers • Arbitration and Conciliation Services • Artists' Agents and Brokers, except Performing Artists • Auctioneering Service on a Commission or Fee Basis • Authors' Agents and Brokers • Bartering Services for Businesses • Batik Work (Hand printing on textiles) • Business Brokers (Buying and selling business enterprises) • Charge Account Service (Shopping Plates) Collection by Individual • Check Validation Service • Cloth (Cutting to length, bolting, or winding for textile distributors) • Contractors' Disbursement Control • Convention Bureaus • Convention Decorators • Copyright Protection Service • Correct Time Service • Cosmetic Kits, Assembling and Packaging • Cotton Inspection Service (Not connected with transportation) • Cotton Sampler Service • Coupon Redemption Service (Except trading stamps) • Credit Card Service (Collection by individual firms) • Decoration Service for Special Events • Demonstration Service (Separate from sale) • Directories, Telephone (Distribution on a contract or fee basis) • Drafting Service (Except temporary help) • Drawback Service (Customs) • Embroidering of Advertising on Shirts, etc. • Engrossing, e.g., Diplomas and Resolutions • Exhibits, Building of (By industrial contractors) • Flagging Service (Traffic control) • Florists' Telegraph Service • Folding and Refolding Service (Textile and apparel) • Fundraising on a Contract or Fee Basis • Hand Tool Designers • Handwriting Analysis • Hosiery Pairing on a Contract or Fee Basis • Hotel Reservation Service • Identification Engraving Service • Inspection of Commodities (Not connected with transportation) 		

USES**SIC CODE****NOTE**

- Interior Decorating Consulting Service (Except painters and paper)
- Interior Designing Service (Except painters and paper hangers)
- Inventory Computing Service
- Laminating of Photographs (Coating photographs with plastics)
- Lecture Bureaus
- Lettering Service
- Liquidators of Merchandise on a Contract or Fee Basis
- Mannequin Decorating Service
- Map Drafting Service
- Mapmaking, including Aerial
- Message Service (Telephone answering except beeper service)
- Meter Readers, Remote
- Microfilm Recording and Developing Service
- Mounting Merchandise on Cards on a Contract or Fee Basis
- Music Distribution Systems (Except coin-operated)
- Notaries Public
- Packaging and Labeling Service (Not packing and crating)
- Paralegal Service
- Parcel Packing Service (Packaging)
- Patent Brokers
- Photogrammetric Mapping Service (Not professional engineers)
- Photographic Library Service, Still
- Photography Brokers
- Pipeline and Power Line Inspection Services
- Playwrights' Brokers
- Post office Contract Stations
- Presorting Mail Service
- Press Clipping Service
- Printed Circuitry Graphic Layout
- Process Serving Service
- Produce Weighing Service (Not connected with transportation)
- Promoters of Home Shows and Flower Shows
- Radio Broadcasting Music Checkers
- Radio Transcription Service
- Recording Studios on a Contract or Fee Basis
- Redemption of Trading Stamps
- Restaurant Reservation Service
- Safety Inspection Service (Except automotive)
- Shoe Designers
- Show Card Painting
- Speakers' Bureaus
- Styling of Fashions, Apparel, Furniture, and Textiles
- Styling Wigs for the Trade
- Switchboard Operation of Private Branch Exchanges
- Tax Collection Agencies (Collecting for a city, county, or state)

USES**SIC CODE****NOTE**

- Tax Title Dealers (Agencies for city, county, or state)
- Telemarketing (Telephone Marketing) Service on a Contract or Fee Basis
- Telephone Answering (Except beeper service)
- Telephone Solicitation Service on a Contract or Fee Basis
- Textile Designers
- Tourist Information Bureaus
- Trading Stamp Promotion and Sale to Stores
- Trading Stamp Redemption
- Translation Service
- Water Softener Service
- Welcoming Service
- Window Trimming Service
- Yacht Brokers

Watch, Clock, and Jewelry Repair

7631

Miscellaneous Repair Shops, as follows:

7699

- Bicycle Repair Shops
- Antique Repair and Restoration (Except furniture and automotive)
- Binocular and Other Optical Goods Repair
- Camera Repair Shops
- Dental Instrument Repair Shops
- Drafting Instrument Repair Shops
- Any Duplicating Shops
- Leather Goods and Repair Shops
- Locksmith Shops
- Luggage Repair Shops
- Measuring and Controlling Instruments Repair Shops
- Medical Instrument Repair (Except electric)
- Microscope Repair
- Mirror Repair Shops
- Musical Instrument Repair Shops
- Nautical and Navigational Instrument Repair (Except electric)
- Organ Tuning and Repair
- Piano Tuning and Repair
- Picture Framing to Individual Order (Not connected with retail art stores)
- Picture Framing (Custom)
- Pocketbook Repair Shops
- Re-needling Work
- Repair of Optical Instruments
- Repair of Photographic Equipment
- Repair of Speedometers
- Sewing Machine Repair Shops
- Surveying Instrument Repair
- Tuning of Pianos and Organs
- Venetian Blind Repair Shops
- Window Shade Repair Shops

USES	SIC CODE	NOTE
Video Tape Rental	7841	
Dance Studios and Schools (Except dance halls)	7911	See Note 6
Amusement & Recreation Services, only as follows:	7999	See Note 6
• Gymnastics Studios		
• Martial Arts Instruction, such as Judo and Karate		
• Yoga Instruction		
Offices and Clinics of Medical Doctors	8011	
Offices and Clinics of Dentists	8021	
Offices of Osteopathic Physicians	8031	
Offices of Other Health Practitioners	8041-8049	
Medical and Dental Laboratories	8071-8072	
Home Health Care Laboratories	8082	
Specialty Outpatient Facilities (Not elsewhere classified), as follows:	8093	
• Biofeedback Centers		
• Rehabilitation Center for Outpatients (Medical only)		
• Respiratory Therapy Clinics		
Legal Services	8111	
Schools and Educational Services, as follows:	8299	See Note 6
• Art Schools (Except commercial)		
• Language Schools		
• Reading Schools		
• Tutoring		
Business Associations	8611	
Professional Membership Organizations	8621	
Labor Unions and Similar Labor Organizations	8631	
Civic, Social, and Fraternal Associations	8641	See Note 7
Political Organizations	8651	
Religious Organizations	8661	See Note 7
Miscellaneous Membership Organizations	8699	
Engineering Services	8711	
Architectural Services	8712	
Surveying Services (No fleet vehicle storage)	8713	
Accounting, Auditing, and Bookkeeping Services	8712	
Management Services	8741	
Management Consulting Services	8742	
Public Relations Services	8743	
Miscellaneous Business Consulting Services	8748	
Services (Not elsewhere classified), including:	8999	
• Actuaries (Consulting)		
• Advertising Copy (Writers of)		
• Announcers (Radio and television service)		
• Art Restoration		
• Artificial Nucleation (Cloud seeding)		
• Artists' Studios (Except commercial and medical)		
• Authors		

USES	SIC CODE	NOTE
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- Chemists (Consulting)
- Christian Science Lectures
- Consultants (Nuclear)
- Entomologists (Consulting)
- Geologists (COnsulting)
- Ghost Writing
- Greeting Cards (Hand painting of)
- Inventors
- Lecturers
- Music Arrangers
- Newspaper Columnists
- Physicists (Consulting)
- Psychologists (Industrial)
- Radio Commentators
- Sculptors' Studios
- Song Writers
- Stained Glass Artists
- Weather Forecasters
- Writers

NON-CLASSIFIABLE ESTABLISHMENTS

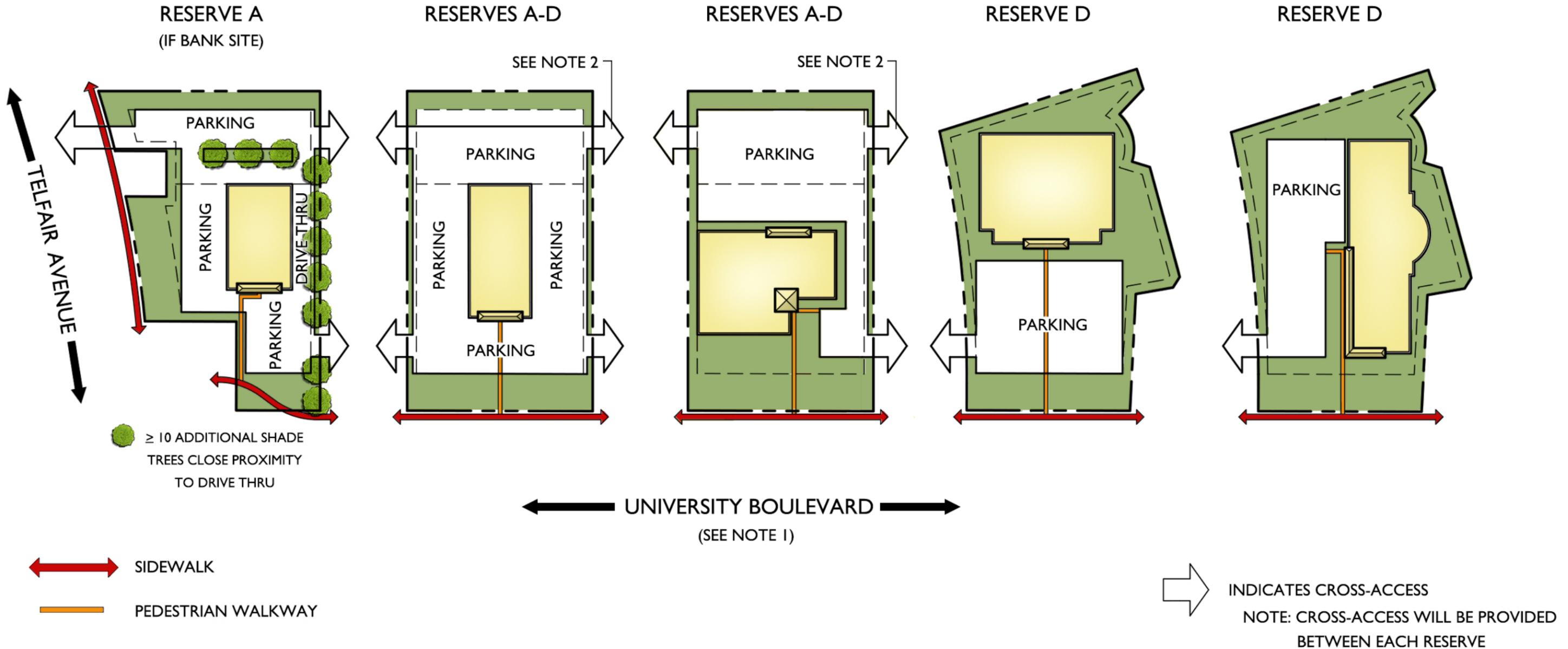
Corporate Offices	99	
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NOTES

1. Equipment repair and bucket trucks are not permitted on-site for SIC 4841 (Cable and Other Pay Television Services and SIC 4899 (Miscellaneous Communications Services).
2. Retail use subject to maximum 30,000 square feet of gross leasable area.
3. Gas sales are prohibited as an accessory use for SIC 5411 (Grocery Stores).
4. SIC 6141 (Personal Credit Institutions) shall exclude check cashing, credit access businesses, and motor vehicle title loans as defined by Chapter 393 of the Texas Finance Code.
5. Only pressing and pickup/drop-off is permitted for SIC 7212 (Garment Pressing, and Agents for Laundries and Drycleaners).
6. SIC 7911 (Dance Studios and Schools), SIC 7999 (Amusement and Recreation Services), and SIC 8299 (Schools and Educational Services) are each limited to a maximum of 10,000 square feet.
7. SIC 8641 (Civic, Social and Fraternal Organizations) and SIC 8661 (Religious Organizations) are limited to a total maximum of 10,000 square feet.

NOTE 1. ACCESS FROM RESERVES TO UNIVERSITY BOULEVARD IS SHOWN ON EXHIBIT B-1

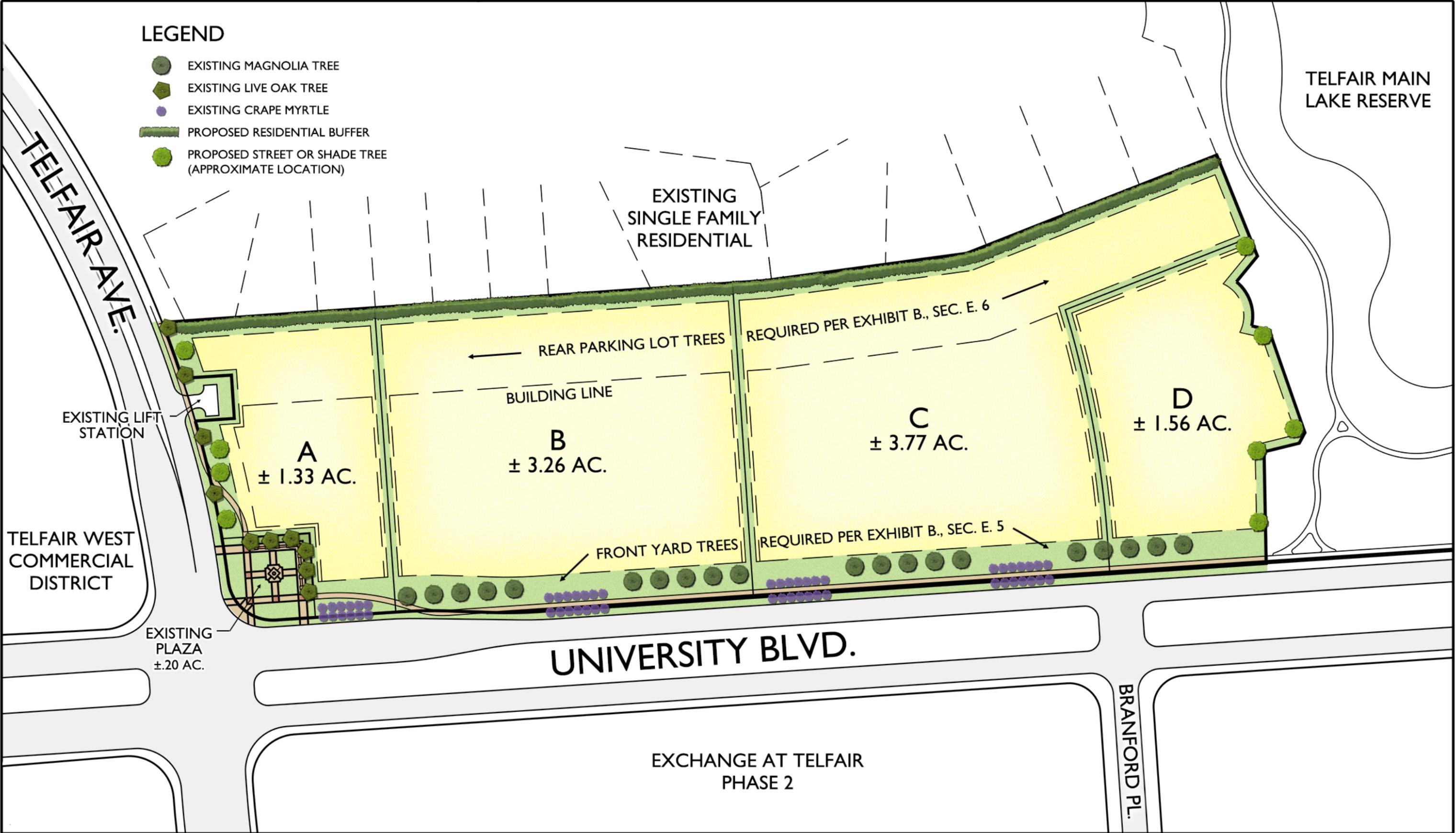
NOTE 2. CROSS ACCESS AS SHOWN IS LIMITED TO RESERVES A, B, AND C.



H:\2013\1 34075 The Exchange at Telfair\Resub Post P&Z Workshop

LEGEND

-  EXISTING MAGNOLIA TREE
-  EXISTING LIVE OAK TREE
-  EXISTING CRAPE MYRTLE
-  PROPOSED RESIDENTIAL BUFFER
-  PROPOSED STREET OR SHADE TREE (APPROXIMATE LOCATION)



TELFAIR MAIN LAKE RESERVE

TELFAIR WEST COMMERCIAL DISTRICT

EXISTING PLAZA ±.20 AC.

UNIVERSITY BLVD.

EXCHANGE AT TELFAIR PHASE 2

BRANFORD PL.

**EXHIBIT B-5
PLANT LIST
The Exchange at Telfair – Phase I**

The following is a list of plant materials. If the property owner requests plants that are not contained in this list, the Planning Director may approve them if they are determined to be similarly hardy.

Street Trees

Bald Cypress – *Taxodium distichum*
Bosque Elm – *Ulmus parvifolia* ‘Bosque’
Cedar Elm – *Ulmus crassifolia*
Drake Elm – *Ulmus parvifolia* ‘Drake’
Live Oak – *Quercus virginiana*
Shumard Oak – *Quercus shumardii*
Southern Magnolia – *Magnolia grandiflora*

Shade Trees

Bald Cypress – *Taxodium distichum*
Bosque Elm – *Ulmus parvifolia* ‘Bosque’
Bur Oak – *Quercus macrocarpa*
Cedar Elm – *Ulmus crassifolia*
Drake Elm – *Ulmus parvifolia* ‘Drake’
Live Oak – *Quercus virginiana*
Shumard Oak – *Quercus shumardii*
Monterrey Oak – *Quercus polymorpha*
Pecan – *Carya illinoensis*
Southern Magnolia – *Magnolia grandiflora*
Sweetgum – *Liquidambar styraciflua*
Water Oak – *Quercus nigra*

Ornamental Trees

American Holly – *Ilex opaca*
Bradford Pear – *Pyrus calleryana* ‘Bradford’
Crape Myrtle – *Lagerstroemia sp.*
Magnolia – *Magnolia sp.*
Redbud – *Cercis canadensis*
Yaupon Holly – *Ilex vomitoria*
Evergreen Chinese Elm – *Ulmus parvifolia*

Shrubs for Screening and Buffering

Hollies – *Hollies sp.*
Magnolia – *Magnolia sp.*
Oleander – *Oleander sp.*
Pittosporum – *Pittosporum tobira*
Southern Wax Myrtle – *Myrica cerifera*
Texas Silverleaf Sage – *Leucophyllum sp.*

Shrubs as a Single Specimen or for Mass Plantings

Azalea – *Rhododendron sp.*
Abelia – *Abelia x grandiflora*
Barberry – *Berberis thunbergii 'atropurpurea'*
Butterfly Iris – *Dietes grandiflora*
Dwarf Wax Myrtle – *Myrica cerifera var. pumila*
Dwarf Pittosporum – *Pittosporum tobira wheeleri*
Fatsia – *Fatsia japonica*
Fringe Flower – *Loropetalum chinense*
Hollies – *Hollies sp.*
Indian Hawthorne – *Raphiolepis indica*
Muhly Grass – *Muhlenbergia sp.*
Nandina – *Nandina sp.*
Pigmy Date Palm – *Phoenix roebelenii*
Pindo Palm – *Butia capitata*
Rosemary – *Rosmarinus officinalis*
Sago Palm – *Cycas revoluta*
Variegated Pittosporum – *Pittosporum tobira variegata*

Vines

Algerian Ivy – *Hedera canariensis*
Carolina Jessamine – *Gelsemium sempervirens*
Climbing Fig – *Ficus pumila*
Confederate Star Jasmine – *Trachelospermum jasminoides*
English Ivy – *Hedera helix*
Honeysuckle – *Lonicera sp.*
Trumpet Creeper – *Campsis radicans*
Wisteria – *Wisteria sp.*

Groundcovers

Ajuga – *Ajuga reptans*
Algerian Ivy – *Hedera canariensis*
Asian Jasmine – *Trachelospermum asiaticum*
Boston Fern – *Nephrolepis exaltata*
Daylily – *Hemerocallis sp.*
English Ivy – *Hedera helix*
Holly Fern – *Cyrtomium falcatum*
Honeysuckle – *Lonicera sp.*
Katie Ruellia – *Ruellia brittoniana 'Katie'*
Knockout Rose – *Rosa sp.*
Lamb's Ear – *Stachys byzantina*
Liriope/Variegated Liriope – *Liriope muscari/'variegata'*
Monkey Grass – *Ophiopogon japonica*
New Gold Lantana – *Lantana sp.*
Society Garlic – *Tulbaghia violacea*
Wood Fern – *Dryopteris sp.*