

ORDINANCE NO. 2371

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING FROM INTERIM STANDARD SINGLE FAMILY RESIDENTIAL (R-1-I) DISTRICT TO PLANNED DEVELOPMENT (PD) DISTRICT - FINAL DEVELOPMENT PLAN FOR LEXINGTON COMMONS, APPROXIMATELY 8.041 ACRES OF LAND LOCATED BETWEEN U.S. HIGHWAY 59 AND LEXINGTON BOULEVARD ALONGSIDE DITCH "H".

WHEREAS, Planned Community Developers, Ltd. has requested that approximately 8.041 acres of land located within the City of Sugar Land (the "City") between U.S. Highway 59 and Lexington Boulevard alongside Ditch "H" be rezoned from Interim Standard Single Family (R-1-I) District to Planned Development (PD) District - Final Development Plan; and

WHEREAS, the City Planning and Zoning Commission forwarded its final report to the City Council, recommending approval of the rezoning request; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS, the City Council finds that the zoning request complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; NOW, THEREFORE:

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

Section 1. That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

Section 2. That the zoning district classification of approximately 8.041 acres of land described in Exhibit A, located between U.S. Highway 59 and Lexington Boulevard alongside Ditch "H," is changed from Interim Standard Single Family Residential (R-1-I) zoning district classification to Planned Development (PD) District - Final Development Plan under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

Section 3. That the City's official zoning map shall be amended to reflect this change in zoning district classification.

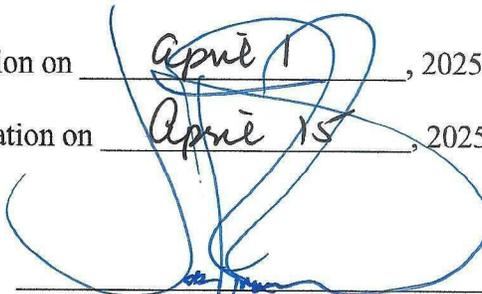
Section 4. That the following Exhibits are attached to and incorporated into this ordinance:

- Exhibit A: Metes and Bounds Legal Description
- Exhibit B: Final Development Plan
- Exhibit B-1: Location Map
- Exhibit B-2: Site Layout Plan
- Exhibit B-2T: Site Layout Plan, includes TxDot curb cut

- Exhibit B-3: Permitted Uses
- Exhibit B-4: Perimeter Setbacks and Buffer
- Exhibit B-4T: Perimeter Setbacks and Buffer, includes TxDot curb cut
- Exhibit B-5: Pedestrian Circulation
- Exhibit B-5T: Pedestrian Circulation, includes TxDot curb cut
- Exhibit B-6: Landscape Plan
- Exhibit B-6T: Landscape Plan, includes TxDot curb cut
- Exhibit B-7: Plant List
- Exhibit B-8: Freeway Signage Plan
- Exhibit B-8T: Freeway Signage Plan, includes TxDot curb cut
- Exhibit B-9: Conceptual Elevations – Garage 1
- Exhibit B-10: Conceptual Elevations – Garage 2

READ IN FULL on first consideration on April 1, 2025.

APPROVED upon second consideration on April 15, 2025.



Joe R. Zimmerman, Mayor

ATTEST:



Linda Mendenhall, City Clerk

APPROVED AS TO FORM:



Attachments:

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EXHIBIT A
Lexington Commons,
Acres 8.041

November 10, 2023
Job No. 1800-0168A

DESCRIPTION OF
8.041 ACRES
(350,257 SQUARE FEET)

Being 8.041 acres (350,257 square feet) of land located in the Alexander Hodge League, Abstract 32, Fort Bend County, Texas, being a portion of Tract 5, Part 5 as shown on the State of Texas Department of Transportation Partition Plat, a subdivision of record in Slide No. 1655B and 1656A, of the Plat Records, of said Fort Bend County (F.B.C.P.R.), more particularly being a portion of the residue of a called 326.826 acre tract conveyed to NNPKeepsake, L.P., by an instrument of record under File Number 2003149525, Official Public Records of said Fort Bend County (F.B.C.O.P.R.), amended and renamed to NNP-Telfair LP by an instrument of record under File Number 2006007940. F.B.C.O.P.R., now known as NNPTelfair LLC by Certificate of Conversion, effective date March 22, 2012, said 8.041 acres being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

BEGINNING at a 5/8-inch iron rod with cap stamped "LJA ENG" found on the northerly line of said 326.826 acre tract, same being the northwest corner of that certain called 18.688 acre tract conveyed to Fort Bend County Levee Improvement District No. 17, by an instrument of record in File Number 2007115781, F.B.C.O.P.R., and on the southerly right-of-way line of U.S. Highway No. 59 (width varies) as described in Volume 460, Page 73 and Volume 1821, Page 962 (File Number 8600222) Deed Records of said Fort Bend County, (F.B.C.D.R.);

Thence, South 01° 50' 41" East, along the westerly line of said 18.688 acre tract, 873.83 feet to a chiseled "X" found for corner on the northerly right-of-way line of Lexington Boulevard (82 feet wide) as shown on Lexington Boulevard Street Dedication, a street dedication of record on Plat Number 20130012, F.B.C.P.R.;

8.041 acres

November 10, 2023
Job No. 1800-0168A

Thence, South $81^{\circ} 51' 24''$ West, departing said westerly line and along said northerly right-of-way line, 131.96 feet to 5/8-inch iron rod with cap stamped "LJA ENG" found for corner, the beginning of a curve;

Thence, along the northerly right-of-way line of said Lexington Boulevard and 247.13 feet along the arc of a tangent curve to the left having a radius of 1,080.00 feet, a central angle of $13^{\circ} 06' 39''$ and a chord which bears South $75^{\circ} 18' 04''$ West, 246.59 feet to a chiseled "X", found for the southeast corner of that certain called 8.713 acre tract conveyed to Board of Regents of the University of Texas System by an instrument of record under File Number 2017034414, F.B.C.O.P.R.;

Thence, North $19^{\circ} 47' 43''$ West, departing the northerly right-of-way line of said Lexington Boulevard, and along the easterly line of said 8.713 acre tract, 280.09 feet to 5/8-inch iron rod with cap stamped "LJA ENG" found for corner;

Thence, North $37^{\circ} 28' 57''$ West, continuing along the easterly line of said 8.713 acre tract, 268.21 feet to 5/8-inch iron rod with cap stamped "LJA ENG" found for the northeast corner of said 8.713 acre tract and on the northerly line of the aforementioned 326.826 acre tract and the aforementioned southerly right-of-way line of U.S. Highway No. 59;

Thence, North $52^{\circ} 31' 25''$ East, along the northerly line of said 326.826 acre tract and the existing southerly right-of-way line of said U.S. Highway No. 59, 113.39 feet to 5/8-inch iron rod with cap stamped "LJA ENG" found for corner;

Thence, North $52^{\circ} 30' 42''$ East, departing the northerly line of said 326.826 acre tract and the existing southerly right-of-way line of said U.S. Highway No. 59, and along the proposed southerly right-of-way line of said U.S. Highway No. 59, 198.78 feet to 5/8-inch iron rod with TxDOT Aluminum Disk set for corner;

8.041 acres

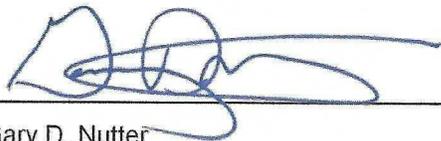
November 10, 2023
Job No. 1800-0168A

Thence, North 52° 31' 23" East, continuing along the proposed southerly right-of-way line of said U.S. Highway No. 59, 188.43 feet to 5/8-inch iron rod with TxDOT Aluminum Disk set for corner;

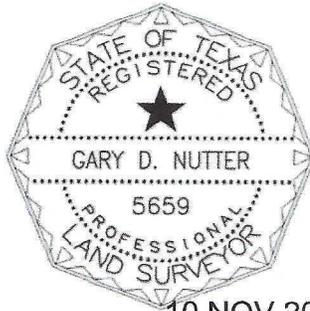
Thence, North 32° 46' 19" East, continuing along the proposed southerly right-of-way line of said U.S. Highway No. 59, 44.39 feet to 5/8-inch iron rod with TxDOT Aluminum Disk set for corner on the northerly line of said 326.826 acre tract and the existing southerly right-of-way line of said U.S. Highway No. 59;

Thence, North 52° 31' 23" East, along the northerly line of said 326.826 acre tract and the existing southerly right-of-way line of said U.S. Highway No. 59, 224.06 feet to the POINT OF BEGINNING and containing 8.041 acres (350,257 square feet) of land.

This description was prepared from a survey prepared by the undersigned dated November 10, 2023.



Gary D. Nutter
Registered Professional Land Surveyor
Texas Registration No. 5659
LJA Surveying, Inc.



10 NOV 2023

EXHIBIT B
FINAL DEVELOPMENT PLAN
Lexington Commons

A. Contents – This urban final development plan includes information and regulations per the following sections:

- General Provisions
- Land Uses
- Development Regulations
- Pedestrian and Bicycle Circulation
- Landscape Requirements
- Freestanding Signs
- Building and Parking Structure Regulations
- Exterior Equipment and Service Areas

B. General Provisions

1. The planned development district (PD) approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City.
2. If any provision or regulation of any City ordinance applicable in a B-O (Business Office) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-O zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Exhibit A:	<i>Lexington Commons, Acres 8.041 - Metes and Bounds</i>
Exhibit B:	<i>Final Development Plan</i>
Exhibit B-1:	<i>Location Map</i>
Exhibit B-2:	<i>Site Layout Plan</i>
Exhibit B-2T:	<i>Site Layout Plan, includes TxDot curb cut</i>
Exhibit B-3:	<i>Permitted Uses</i>
Exhibit B-4:	<i>Perimeter Setbacks and Buffer</i>
Exhibit B-4T:	<i>Perimeter Setbacks and Buffer, includes TxDot curb cut</i>
Exhibit B-5:	<i>Pedestrian Circulation</i>
Exhibit B-5T:	<i>Pedestrian Circulation, includes TxDot curb cut</i>
Exhibit B-6:	<i>Landscape Plan</i>
Exhibit B-6T:	<i>Landscape Plan, includes TxDot curb cut</i>
Exhibit B-7:	<i>Plant List</i>
Exhibit B-8:	<i>Freeway Signage Plan</i>
Exhibit B-8T:	<i>Freeway Signage Plan, includes TxDot curb cut</i>
Exhibit B-9:	<i>Conceptual Elevations – Garage 1</i>
Exhibit B-10:	<i>Conceptual Elevations – Garage 2</i>

4. As shown on [Exhibit B-1, Location Map](#), the Lexington Commons PD encompasses 8.041 acres adjacent to Ditch "H" that extends from Lexington Boulevard to Interstate Highway 69. The entire Lexington Commons project is intended to yield a high-end, mixed-use development with Class A office buildings, retail, restaurant, and entertainment uses centered on a pedestrian oriented urban core.
5. Except as otherwise provided herein, the words used in this final development plan have the meaning established by the Development Code. In this ordinance:

Class A Office means an investment-grade property with the highest quality construction and workmanship, materials and systems, significant architectural features, the highest quality finish and trim, abundant amenities, and first-rate maintenance and management.

Director means the person designated or assigned by the City Manager to administer the zoning regulations or any other provisions of the Code. Director includes any person authorized to perform the duties of the Director.

Ditch H means the drainage channel and levee that adjoin the east boundary of the PD.

Offset means either an abrupt change in the dimension or profile of a building wall, or a horizontal ledge on the face of a wall formed by the diminution of its thickness above.

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete masonry units.

6. Site development shall be comprised of three office buildings, two parking garages and surface parking areas, constructed as shown on [Exhibit B-2 and Exhibit B2-T, Site Layout Plan](#).
7. First floor retail and services may be located in parking garage 2, as exemplified in [Figure 1](#), and professional buildings, as exemplified in [Figure 2](#).

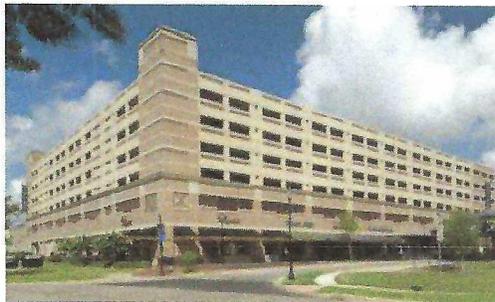


Figure 1

Figure 2



8. Maximum development for the PD is 269,000 square feet, which includes all buildings and retail on the first floor of Garage 2.
9. In order to accommodate medical offices in all buildings, required parking shall be provided at the ratio of one space per 200 square feet (1:200) of building.

C. Land Uses

1. Permitted land uses, as defined in the Development Code, are listed in [Exhibit B-3, Permitted Uses](#). All other land uses are prohibited.
2. Fleet vehicle storage is prohibited.
3. Outdoor storage is prohibited for all permitted uses.
4. Drive-thru lanes are prohibited for all permitted uses.

D. Development Regulations – The PD shall be developed in accordance with the following development regulations:

1. Building and parking garage heights fronting Ditch H:
 - (a) Maximum building height for Buildings 1 and 2 shall be 35 feet above ground level.
 - (b) Maximum height for Parking Garage 1 shall be 55 feet above ground level. [Exhibit B-9, Conceptual Elevations](#).
2. Building and parking garage heights not fronting Ditch H:
 - (a) Maximum building height for Building 3 shall be 90 feet above ground level.
 - (b) Maximum height for Parking Garage 2 shall be 90 feet above ground level. [Exhibit B-10, Conceptual Elevations](#).
3. Minimum building setbacks along lot lines abutting the following, as shown on [Exhibit B-4 and B-4T, Perimeter Setbacks and Buffer](#):

- (a) Interstate Highway 69: 35 feet
- (b) Lexington Boulevard: 20 feet
- (c) Ditch H: 34 feet per existing easements
- (d) Interior side and rear lot lines: 20 feet

4. Parking lot setbacks:

- (a) Interstate Highway 69: 35 feet
- (b) Lexington Boulevard: 20 feet
- (c) Ditch H: 34 feet per existing easements
- (d) Interior side and rear lot lines: 20 feet

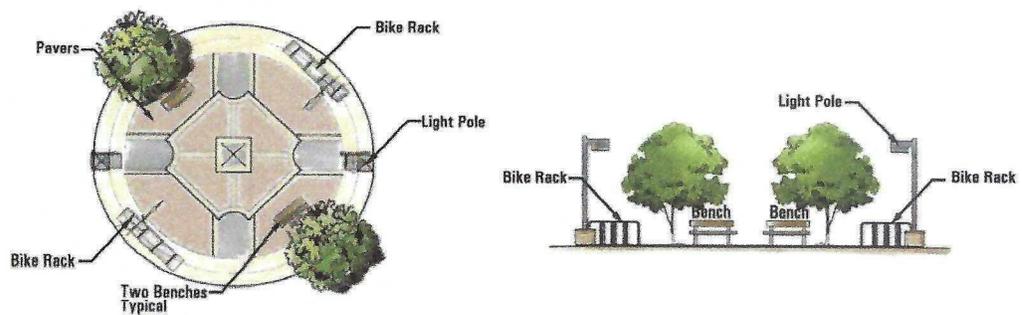
5. Paving:

- (a) All parking lots and vehicular use areas must be constructed of concrete.
- (b) Driveways may be constructed, or paved with interlocking, multicolored pavers supported by a 6-inch reinforced concrete tray and a sub-grade per City design standards.

E. Pedestrian and Bicycle Circulation – The PD shall be developed in accordance with [Exhibit B-5 and Exhibit B-5T, Pedestrian Circulation](#), and the following pedestrian and bicycle circulation regulations:

1. A 14-foot wide pedestrian access easement shall be provided along Interstate Highway 69 within the required landscape buffer.
2. As part of development, a pedestrian plaza, as exemplified in [Figure 3](#), shall be provided in a centralized location within the development. The plaza shall include a minimum size of 500 square feet, decorative paving pattern and lighting, and at least 2 benches, 2 street trees and 3 bicycle parking spaces.

Figure 3



3. Pedestrian walkways shall be provided in accordance with the following criteria:

- (a) Connect a primary building entrance to the Lexington Boulevard sidewalk
- (b) Connect walkways from building entrance to adjacent parking garage
- (c) Minimum 5-foot width

- (d) Readily visible and free of encroachment by parked vehicles
- (e) Paved with concrete or other masonry products differentiated from the driveway and parking area through the use of color, texture, and materials
- (f) Predominantly shaded with street trees at one per 30 linear feet of walkway, or building canopies
- (g) Lighted with pedestrian-scaled fixtures not less than one per pedestrian walkway and shall not exceed 15 feet in height. Location and quantity to be determined at site plan review.
- (h) At least one pedestrian walkway shall be provided to connect each building to the pedestrian plaza, which shall be constructed in Phase 1.

4. Bicycle parking:

- (a) On-site parking spaces for bicycles shall be provided within 50 feet of a public entrance to a building.
- (b) Minimum three (3) bicycle parking spaces per office building
- (c) Bicycle parking spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
- (d) Bicycle parking spaces shall include racks with a minimum number of three (3) spaces in any one location. Lockers, or other structures intended for parking bicycles may be utilized for supplemental bicycle parking.
- (e) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
- (f) Bicycle parking shall be provided in the pedestrian plaza as specified above in Section E.2.

F. Landscape Requirements – The PD shall be developed as shown on [Exhibit B-6 and Exhibit B-6T](#), [Landscape Plan](#), and in accordance with the following landscape regulations:

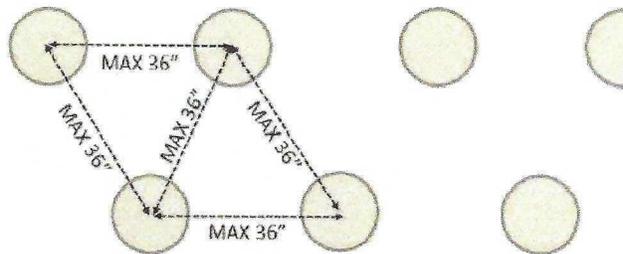
1. Minimum on-site landscape buffer widths along lot lines abutting the following, as shown on [Exhibit B-4 and Exhibit B-4T](#), [Perimeter Setbacks and Buffer](#):

(a) Interstate Highway 69:	35 feet
(b) Lexington Boulevard:	20 feet
(c) Ditch H:	34 feet per existing easements
(d) Interior side and rear lot lines:	20 feet
2. Required landscape buffers may include vehicular driveways perpendicular to the length of the buffer, freestanding signs, sidewalks, and pedestrian walkways. Buffers may also be used for future transit stops.
3. Minimum open space of 15%, inclusive of landscape buffers.
4. Shade trees:
 - (a) Along Highway 69, one tree shall be located in the required landscape buffer for each 30 feet of highway frontage, or portion thereof, measured along the right-of-way line.
 - (b) Along Lexington Boulevard, one tree shall be located in the required landscape buffer for each 30 feet of street frontage, or portion thereof, measured along the right-of-way line.

- (c) Along the western property line adjacent to the Board of Regents of the University of Texas System, one tree shall be located for each 30 feet or portion thereof, measured along the property line.
 - (d) Along the eastern property line adjacent to Ditch H, one tree shall be located for each 30 feet or portion thereof, measured along the property line. Such trees shall be placed outside the existing utility easement containing overhead electric lines.
 - (e) Required trees may be clustered or spaced linearly; they need not be placed evenly.
 - (f) All shade trees within the PD, including those required within internal parking lots per Chapter 2, Article XV, Landscaping and Screening Regulations, shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted.
 - (g) Parking garage shade trees shall be planted along the exterior wall for every 30 linear feet of the length of the structure not screened from public view by other structures.
5. On-site parking, adjacent to perimeter landscape buffers, shall have a continuous hedge of a minimum 3-foot height at time of planting to screen the parking lot from the adjacent road or property.

As shown in **Figure 4**, shrubs for screening and buffering must be planted in a double row 36 inches tall at the time of planting and planted with triangular centers no greater than 36 inches on center. When used for required screening, the shrubs must be planted and maintained to form a continuous, unbroken, solid, visual screen within one year of planting, unless providing for a sidewalk or pedestrian walkway.

Figure 4



- 6. Plant species used to satisfy the requirements of the PD shall be those listed on **Exhibit B-7, Plant List**.
- 7. Landscape irrigation shall include drip irrigation in designated areas and a water-saving irrigation programmer, to minimize usage and reduce waste.
- 8. All utility lines shall be located underground save and except required ground-mounted equipment and the existing overhead lines along Interstate Highway 69 and Ditch H.

G. Freestanding Signs – Signs within the PD shall be permitted in accordance with the following regulations:

- 1. Freestanding signs fronting on Interstate Highway 69, as shown on **Exhibit B-8 and Exhibit B-8T, Freeway Signage Plan**:

- (a) Maximum effective area: 150 square feet
 - (b) Maximum height: 12 feet
 - (c) Number per feet of frontage: 1 per 250 feet
 - (d) Minimum spacing between signs: 250 feet
 - (e) Minimum setback: 10 feet from property line
 - (f) Maximum number of signs: 2
2. Each business within the PD shall be restricted to displaying signage on no more than one single freestanding sign along Interstate Highway 69 or Lexington Boulevard.
 3. All information on one supporting structure is counted as one sign for purposes of applying the regulations on the number of freestanding signs allowed on any one property.
 4. Exterior finishes for freestanding signs are shown on [Exhibit B-8 and Exhibit B-8T, Freeway Signage Plan](#).
 5. Additional regulations on freestanding signs within the Development Code, Section 4-24, remain applicable.
 6. Except as provided in this PD, signage shall comply with Chapter 4 of the Development Code.

H. Building and Parking Structure Regulations – Buildings and parking structures within the PD shall be developed in accordance with the following regulations:

1. Building design criteria and features:
 - (a) As shown in [Figure 5](#), all building facades shall include offsets, changes in building materials, colors and textures, and architectural detailing that creates shade and cast shadows.
 - (b) Clear glass is required in all storefronts.

Figure 5



**DECORATIVE EAVES
AND ARCHITECTURAL
DETAILS THAT PROVIDE
INTEREST AND SCALE**

- (c) Facades greater than 100 feet in length that face Interstate Highway 69 or Lexington Boulevard shall incorporate offsets and fenestrations having a minimum depth of 2 feet

and extending at least 20% of the length of the façade. No uninterrupted length of a façade shall exceed 100 feet.

- (d) As exemplified in **Figures 6 and 7**, canopies and recessed entries shall be provided at primary pedestrian entrances to a building. Canopies may be structural extensions of the building or constructed of fabric attached to the building. An individual canopy shall cover a ground area of at least 20 square feet. A recessed entry shall be at least 40 square feet in size.

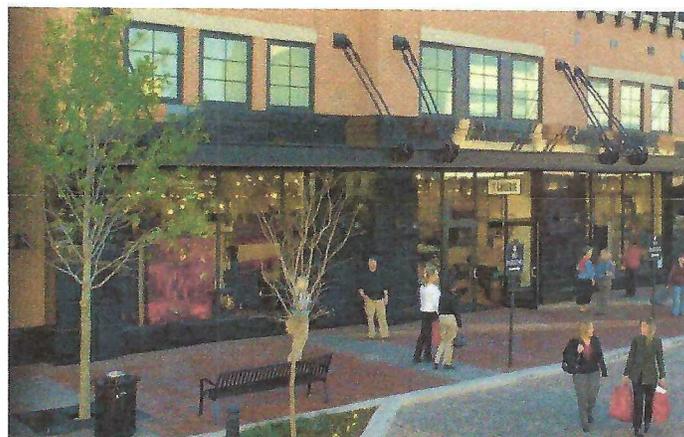


Figure 6

Figure 7

- (f) All facades of an individual building and the facades of multiple buildings within a single development shall be of similar architectural design, color, and materials.
- (g) The Director may approve alternative canopy or façade treatments not specified herein if the Director determines that the alternative canopy or façade treatment is substantially equal to or better than a specified requirement in quality, durability, and appearance and the use thereof will not violate any provision of this article.
- (h) The front façade of the first floor of a retail building shall be at least 60% transparent as shown in **Figure 8** by means of storefronts, entrances, and display windows in order to permit visibility between the building occupants and outdoor pedestrians and motor vehicle drivers.

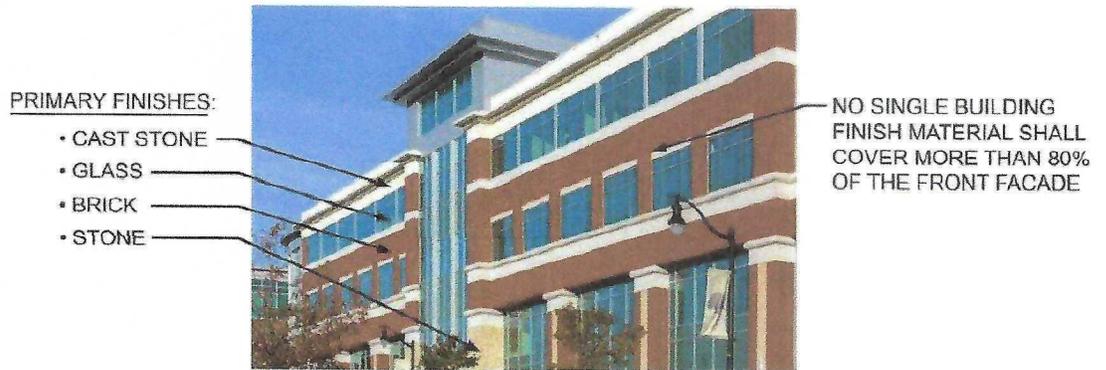
Figure 8



2. Building façade finishes:

- (a) As shown in **Figure 9**, Primary Finish means an exterior finish consisting of brick, stone (natural, cast, or cultured-textured), glass, and architecturally finished concrete panels.
- (b) Primary Finishes shall comprise at least 85% of each façade. The remaining portion of an exterior wall that is not constructed of a Primary Finish must be constructed of a Secondary Finish.
- (c) Secondary Finish means an exterior finish consisting of wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), stucco and fiber cement siding.

Figure 9



- (d) Secondary Finishes shall comprise no more than 15% of the façade for any building.
- (e) No single, primary building finish material shall cover more than 80% of the front of any building, as shown in **Figure 9**.
- (f) Unless approved by the Director, the use of architectural metals is limited to canopies, parapet walls, roof systems, and miscellaneous trim work, and such use shall meet the durability standards of the Development Code.
- (g) The following building materials shall not be used for a Primary or Secondary Finish:
 - (i) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic, or fiberglass panels.
 - (ii) Unfired or underfired clay, sand, or shale brick.
 - (iii) Smooth or un-textured concrete surfaces.
 - (iv) Exterior Insulated Finish Systems (E.I.F.S.).
- (h) The director may approve alternative Primary or Secondary Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or secondary Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.

3. Parking Structure:

- (a) The parking structure is to be properly illuminated, provide both vehicular and pedestrian traffic ease of ingress and egress.
- (b) The exterior walls of the parking structures that face both Lexington Blvd and Ditch H will consist of glass windows and brick as shown on **Exhibit B-9 and Exhibit B-10, Conceptual Elevations**.
- (c) All other parking structure requirements are defined in Article XI of the City of Sugar Land Development Code

- I. **Exterior Equipment and Service Areas** – As exemplified in **Figures 10, 11 and 12**, exterior equipment and services areas shall be developed in accordance with the following regulations:

Figure 10



Figure 11



Figure 12



1. **Exterior Equipment and Service Siting and Screening:**
 - (a) Service and Equipment Areas must be oriented toward service drives and away from street or highway right-of-way unless adequately screened.
 - (b) Service and Equipment Areas must be visually and acoustically screened from primary building entrances and adjacent land uses.
 - (c) Screening shall consist of wing walls, landscape screens, changes in building orientation, and/or other architectural elements that provide sufficient barrier.
 - (d) Screening shall extend a minimum of 12 inches above the object being screened.
 - (e) Screening walls, wing walls, columns, and similar building extensions and supports shall be of complementary architectural design, color and materials as the building or structure to which they are attached.

2. **Mechanical and Utility Equipment Siting and Screening:**
 - (a) Mechanical and utility equipment must be placed in the most inconspicuous location possible.
 - (b) Such equipment shall be located internally along or near rear access drives, parking spaces or rear-facing facades.
 - (c) Ground-mounted mechanical equipment must be screened with architecturally integral wing walls and/or landscape planting, or another acceptable screening device.
 - (d) Where building mounted utility equipment cannot be placed behind screens or other barriers and is visible from the street or highway right-of-way, it must be treated such that it blends into the context of the adjacent façade materials.
 - (e) Utility boxes taller than 2 feet may not be placed in an intersection clear vision area or interfere with the use of access drives, sidewalks or other vehicular or pedestrian paths.



LEXINGTON COMMONS

EXHIBIT B-1:
LOCATION MAP

EXHIBIT B-3
Permitted Uses for Lexington Commons

Institutional

School, College and University

1. Private Only
2. Permitted only within an office building
3. No dormitories or other form of student housing

School, Vocational

Office

Call / Message Center

Professional Office, Neighborhood

Professional Office, Regional

Retail

Bar

Retail Sales, Small

Restaurant, With No Drive-In or Drive-Thru Service

Wine Bar

Services

Animal Services, Boarding / Day Care

Animal Services, Small Animals

Assembly Facility, Banquet / Event Center

Child Care Facility, Daycare in accordance with the following requirements:

1. Permitted only as an accessory use within an office building
2. Be developed in accordance with an approved traffic circulation plan and traffic study to include on-site queuing
3. Provide dedicated outside or inside recreation areas, which exclude retrofitted parking lots

Cleaning, Dry Cleaners Pick-Up & Drop-Off

Clinic, Drug and Alcohol Treatment

Financial Institution without Drive-Thru

Fitness Center, Indoor Fitness Instruction

Fitness Center, Small

Medical and Dental Laboratory

Medical, Dental, or Therapist Clinic / Office

Permanent Makeup

Personal Services

Place of Worship

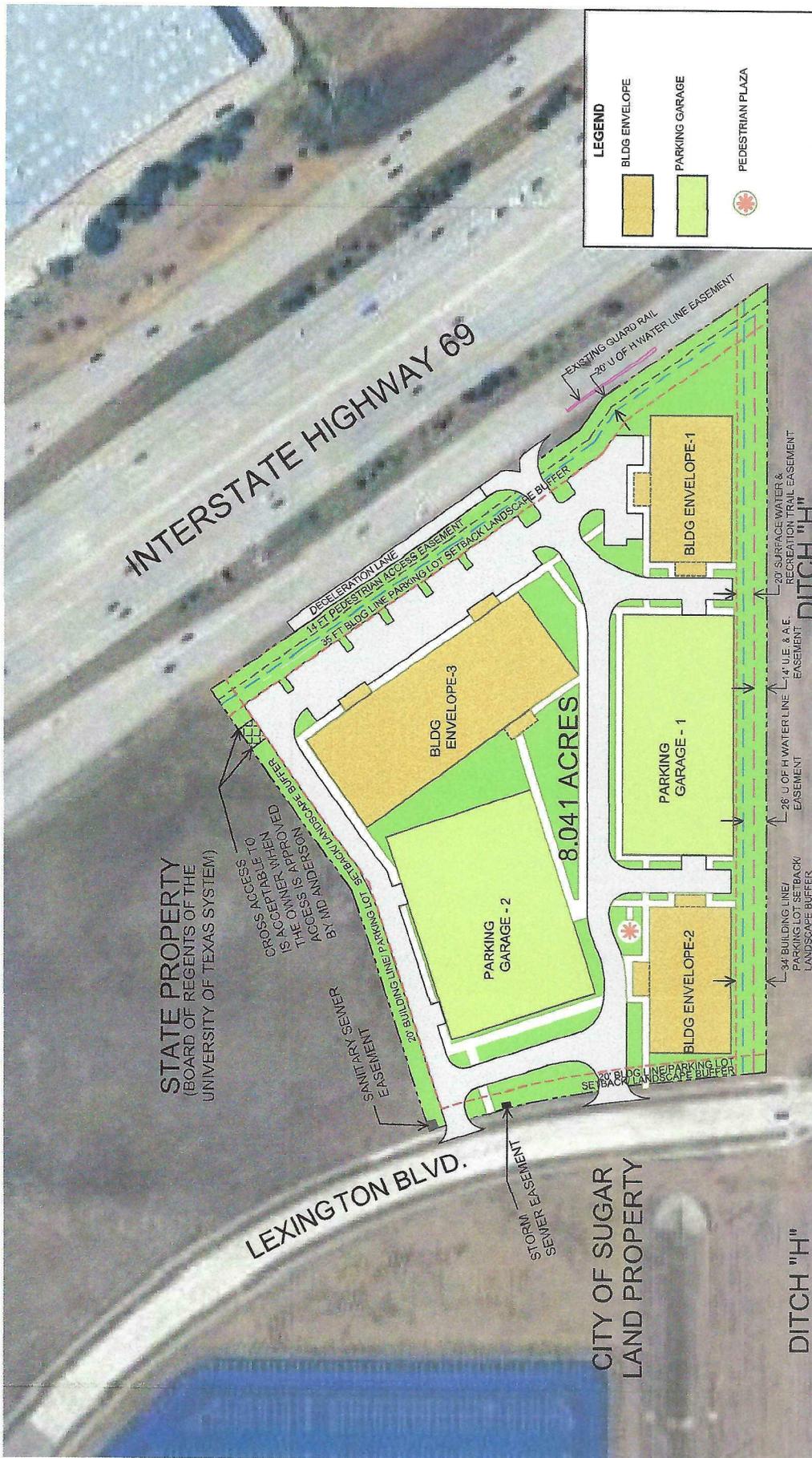
1. Permitted only as an accessory use within an office building
2. 2,000 square foot limit per building

Research, Life Sciences and Healthcare

Research, Research and Testing Laboratory

Research, Technology Development

Studio, Glass or Ceramics



LEXINGTON COMMONS PERIMETER SETBACKS AND BUFFER, INCLUDES TXDOT CURB CUT



INTERSTATE HIGHWAY 69

STATE PROPERTY
(BOARD OF REGENTS OF THE
UNIVERSITY OF TEXAS SYSTEM)

LEXINGTON BLVD.

CITY OF SUGAR
LAND PROPERTY

LEGEND

- BLDG ENVELOPE
- PARKING GARAGE
- PEDESTRIAN PLAZA
- PROPOSED 5 FT PEDESTRIAN WALKWAY WITHIN LEXINGTON COMMONS
- EXISTING 8 FT PEDESTRIAN SIDEWALK ALONG LEXINGTON BLVD

8.041 ACRES

14 FT PEDESTRIAN ACCESS EASEMENT

35 FT BLDG LINE PARKING LOT SETBACK LANDSCAPE BUFFER

20' U OF H WATER LINE EASEMENT

EXISTING GMA PD RAIL

BLDG ENVELOPE-1

PARKING GARAGE - 1

BLDG ENVELOPE-2

PARKING GARAGE - 2

BLDG ENVELOPE-3

20' SURFACE WATER & SEPARATION TRAIL EASEMENT

DITCH "H"

20' U OF H WATER LINE EASEMENT

34' BUILDING LINE/ PARKING LOT SETBACK/ LANDSCAPE BUFFER

20' BLDG LINE PARKING LOT SETBACK LANDSCAPE BUFFER

CROSS ACCESS TO STATE PROPERTY IS ACCEPTABLE TO UNIVERSITY WHEN ACCESS IS APPROVED BY MD ANDERSON

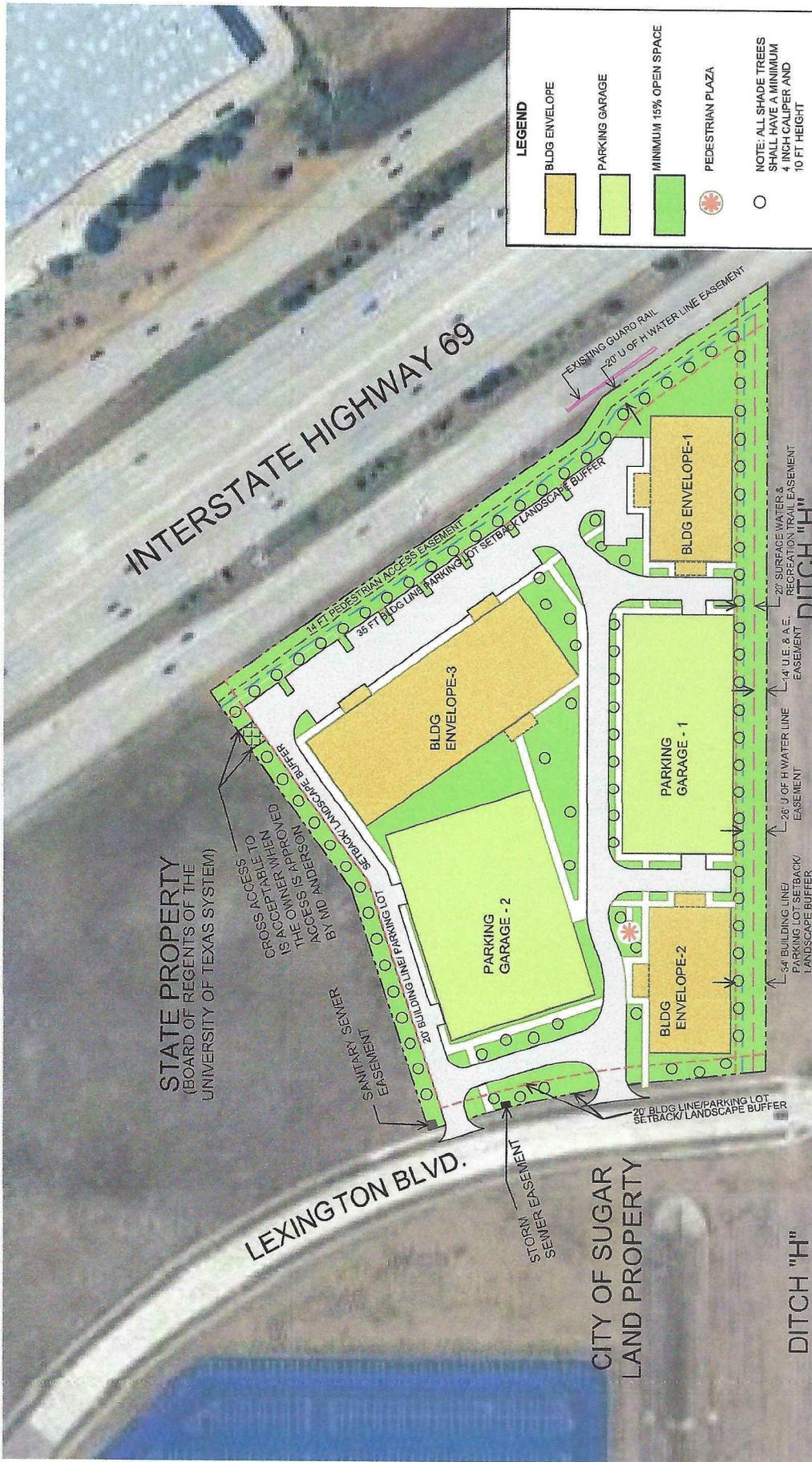
STORM SEWER EASEMENT



LEXINGTON COMMONS

PEDESTRIAN CIRCULATION

EXHIBIT B-5:



INTERSTATE HIGHWAY 69

STATE PROPERTY
(BOARD OF REGENTS OF THE
UNIVERSITY OF TEXAS SYSTEM)

LEXINGTON BLVD.

CITY OF SUGAR
LAND PROPERTY

DITCH "H"

LEGEND

- BLDG ENVELOPE
- PARKING GARAGE
- MINIMUM 15% OPEN SPACE
- PEDESTRIAN PLAZA

NOTE: ALL SHADE TREES SHALL HAVE A MINIMUM 4 INCH CALIPER AND 10 FT HEIGHT

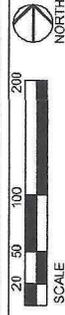


EXHIBIT B-6:
LANDSCAPE PLAN

LEXINGTON COMMONS

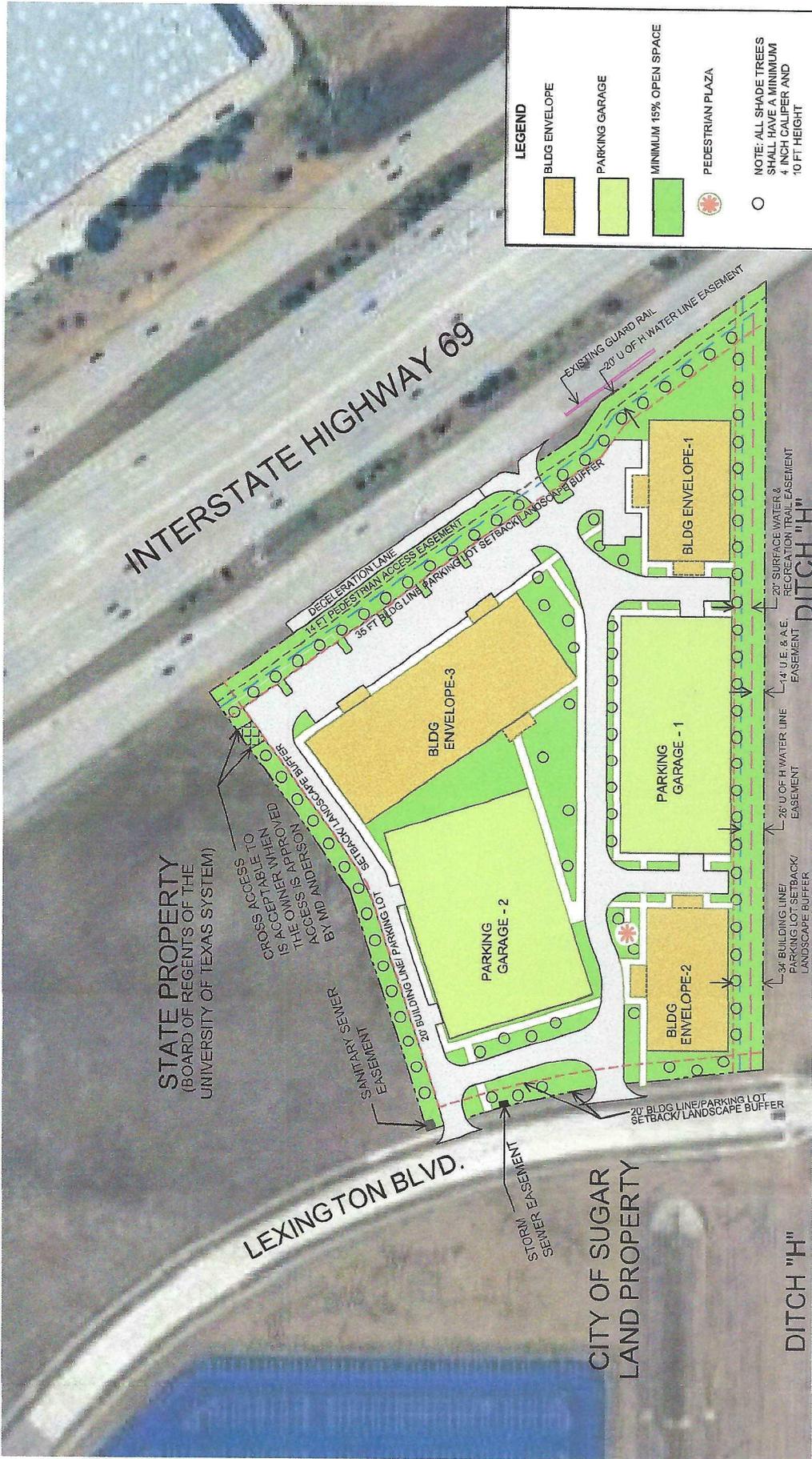


EXHIBIT B-6T: LEXINGTON COMMONS LANDSCAPE PLAN, INCLUDES TXDOT CURB CUT

SCALE
 20 50 100 200
 NORTH

EXHIBIT B-7 Plant List for Lexington Commons

The following is a list of approved trees and shrubs. Alternative plants not specified in this list may be approved by the Director if determined that an alternative is substantially equal to or better than a specified material and the use will not violate any provision of the PD:

Shade Trees:

Bald Cypress – Taxodium distichum
Bosque Elm – Ulmus parvifolia ‘Bosque’
Bur Oak – Quercus macrocarpa
Cedar Elm – Ulmus crassifolia
Drake Elm – Ulmus parvifolia ‘Drake’
Live Oak – Quercus virginiana
Shumard Oak – Quercus shumardii
Magnolia – Magnolia sp.
Monterrey Oak – Quercus polymorpha
Pecan – Carya illinoensis
Sweetgum – Liquidambar styraciflua
Water Oak – Quercus nigra

Small & Ornamental Trees:

American Holly – Ilex opaca
Bradford Pear – Pyrus calleryana ‘Bradford’
Crape Myrtle – Lagerstroemia sp.
Redbud – Cercis canadensis
Yaupon Holly – Ilex vomitoria
Evergreen Chinese Elm – Ulmus parvifolia

Evergreen Shrubs for Screening and Buffering:

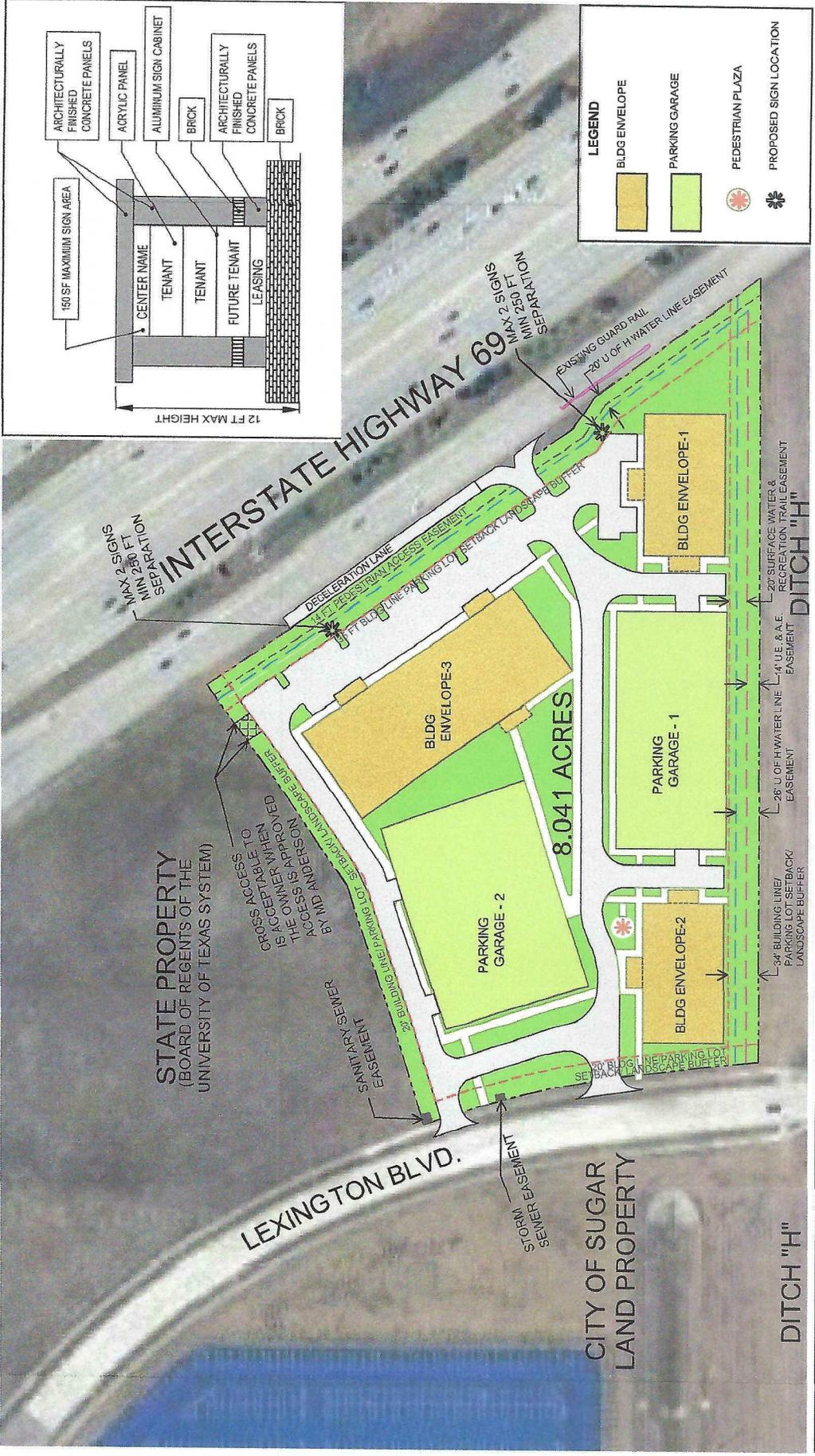
Burford Holly – Ilex cornuta ‘Burfordii’
Fraser’s Photinia – Photinia Fraseri
Oleander – Nerium oleander sp.
Yaupon Holly – Ilex vomitoria
Southern Wax Myrtle – Myrica cerifera
Indian Hawthorn – Rhaphiolepis indica

Shrubs for Mass Plantings:

Azalea – Rhododendron sp.
Abelia – Abelia x grandiflora
Barberry – Berberis thunbergii ‘atropurpurea’
Butterfly Iris – Dietes grandiflora
Dwarf Wax Myrtle – Myrica cerifera var. pumila
Dwarf Pittosporum – Pittosporum tobira wheeleri
Fatsia – Fatsia japonica
Fringe Flower – Loropetalum chinense
Hollies – Hollies sp.

Shrubs for Mass Plantings continued:

Indian Hawthorne – *Raphiolepis indica*
Muhly Grass – *Muhlenbergia* sp. Nandina – *Nandina* sp.
Nandina – *Nandina* sp.
Pigmy Date Palm – *Phoenix roebelenii*
Pindo Palm – *Butia capitata*
Rosemary – *Rosmarinus officinalis*
Sago Palm – *Cycas revoluta*
Variegated Pittosporum – *Pittosporum tobira variegata*



STATE PROPERTY
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LEXINGTON BLVD.

CITY OF SUGAR
LAND PROPERTY

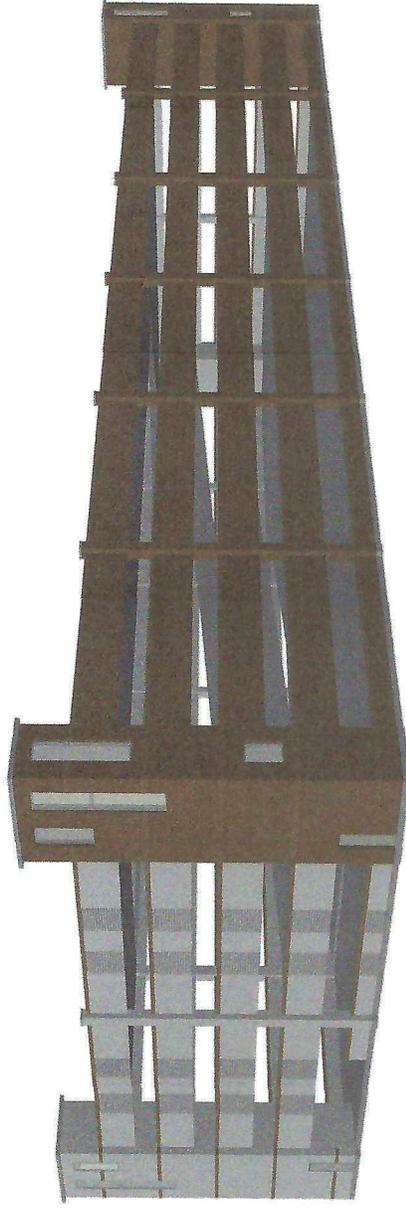
INTERSTATE HIGHWAY 69

LEXINGTON COMMONS FREEWAY SIGNAGE PLAN, INCLUDES TXDOT CURB CUT EXHIBIT B-8T:





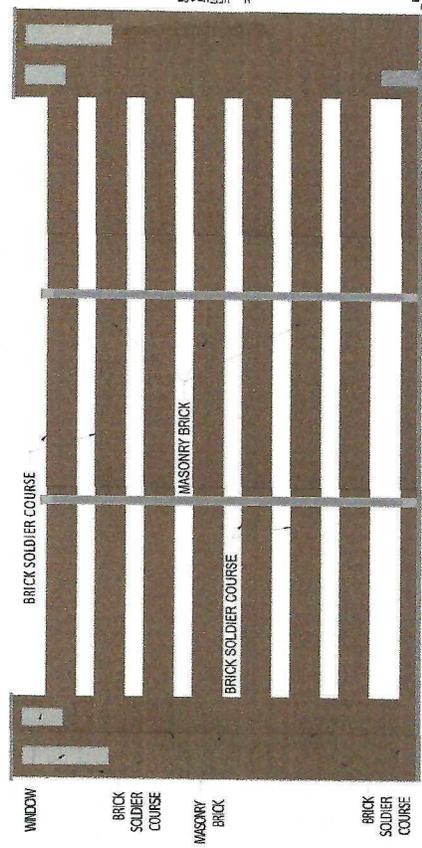
GARAGE 1 REAR ELEVATION - EAST VIEW (VIEW FROM DITCH 'H')



GARAGE 1 - SOUTHEAST ISOMETRIC ELEV.

NOTE:
ALL BRICK, STONE, AND PRECAST CONCRETE ARE CONSISTENT WITH MATERIALS USED THROUGHOUT TELFORD.

NOTE: ELEVATIONS ARE ILLUSTRATIVE ONLY FOR THE PURPOSE OF ZONING FOR THE CITY OF SUGAR LAND, TX.



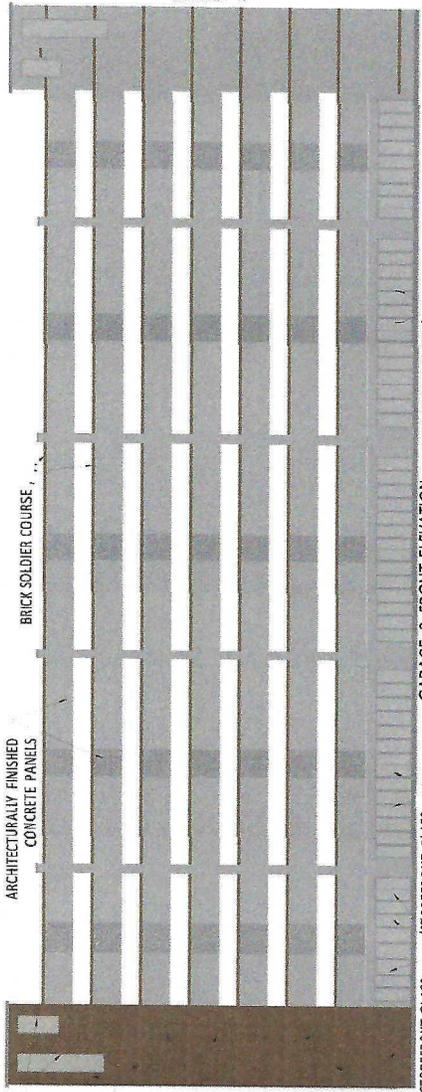
WINDOW

BRICK
SOLDIER
COURSE

MASONRY
BRICK

BRICK
SOLDIER
COURSE

GARAGE 2 SIDE ELEVATION
SOUTH VIEW (FROM LEXINGTON)



ARCHITECTURALLY FINISHED
CONCRETE PANELS

BRICK SOLDIER COURSE

BRICK
SOLDIER
COURSE

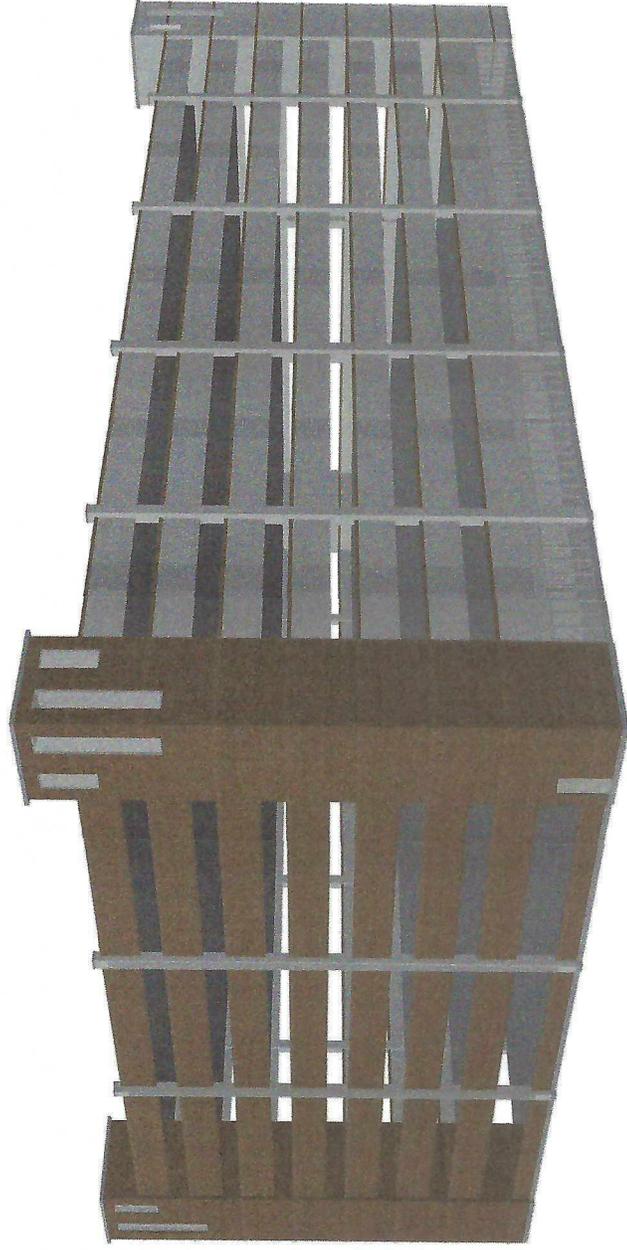
MASONRY
BRICK

BRICK
SOLDIER
COURSE

GARAGE 2 FRONT ELEVATION
EAST VIEW (FROM BLDGS 1 & 2)

STOREFRONT GLASS
GLASS DOORS

STOREFRONT GLASS
GLASS DOORS



GARAGE 2 SOUTHEAST ISOMETRIC ELEVATION

NOTE: OPIDURA RETAIL ON THE 1ST STORY OF THE BUILDING SHALL CONSIST OF BRICK FACIAGES WITH GLASS OPENINGS. STOREFRONT WINDOWS NOT TO EXCEED 10 FT WIDE AT THE TOP. ALL BRICK, STONE, AND PRE-CAST CONCRETE ARE CONSISTANT WITH MATERIALS USED THROUGHOUT THE FAIR.

NOTE: ELEVATIONS ARE ILLUSTRATIVE ONLY FOR THE PURPOSE OF ZONING FOR THE CITY OF SUGAR LAND, TX.