

Lake Pointe Redevelopment District (LPR) Key Highlights

Overview: Adopted in December 2023, the Lake Pointe Redevelopment District (LPR) aims to create a walkable environment with vibrant pedestrian-friendly mixed-use areas.

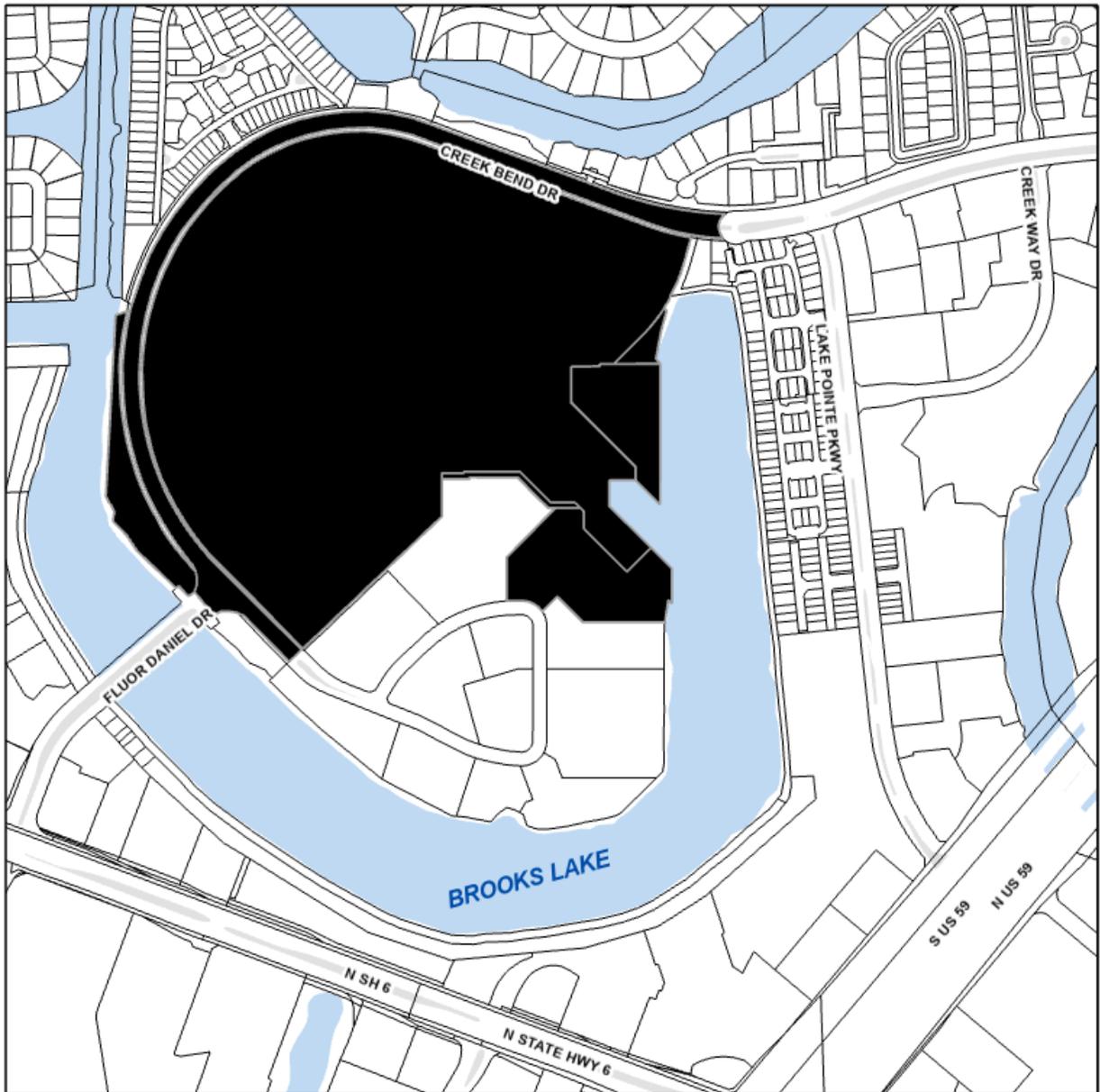
Attachments /Useful Links

- [Sugar Land Development Code LAKE POINTE REDEVELOPMENT DISTRICT \(LPR\)](#)
- [Land Use Plan | Sugar Land, TX - Official Website](#)

Development Code Sections:

- Sec. 2-117 – Minimum Housing Mix Requirement: a minimum of 3 housing types are required and should be interspersed/evenly distributed throughout the development.
- Sec. 2-118 – District Regulations: setback requirements for residential and nonresidential uses.
 - 0' front, street and interior setbacks permitted for nonresidential uses; 5' for residential
 - Maximum lot width of 40' for Urban Homes
 - Minimum residential density of 10 homes per gross acre
 - Nonresidential & multifamily height subject to FAA review due to airport proximity
- Sec. 2-119 – Lot Layout and Site Design Regulations: provides for Pedestrian Realm and Clear Zone (sidewalk) widths by roadway classification, midblock pedestrian connections, etc.
 - Permissive to outdoor dining
 - Parking lots at building rear or side
 - 50+ multifamily unit buildings must be served by Structured Parking; for all other sites, Parking Lots shall not exceed 40% of site's total area
- Sec. 2-120 – Pedestrian Realm Enhancements: provides developer flexibility through points for a menu of pedestrian enhancement options including shade, public art, outdoor seating, etc.
- Sec. 2-121 & 2-122 – Building Design: provides for form-based building orientation:
 - Min. 5% of LPR dedicated to Civic Space; excludes Pedestrian Realms adj to Streets
 - Entrances oriented toward Pedestrian Realms, waterfronts, Civic Spaces
 - Waterfront properties must include trails (min. width: 10 ft)
 - All ground floor residential units along Streets shall maintain a minimum structural ceiling height of 13 feet to provide the opportunity for future conversion to nonresidential uses.
 - For sites adjacent to residential – minimize impacts and maximize privacy of residents
- Sec. 2-123. - Permitted Uses and Parking Requirements:
 - Permitted uses include compact residential (multi-family; townhome; urban home; duplex; multiplex – three, four or family units), institutional, office, retail, and services.
 - Base/standard reduction in off-street parking of 25%; up to 60% total reduction via shared parking, EV stations, etc. Requires parking agreements for shared facilities and may include smart parking systems or rideshare areas. Encourages vertical construction through balanced redevelopment, efficient land use, and parking flexibility

- Sec. 2-124. - Lake Pointe Redevelopment District Development Review Procedures: Includes general processes / procedures for the Redevelopment Concept Plan



■ Lake Pointe Redevelopment District

