



SECTION 5:

SITE PLANS

- Site Plan Package Information
- Flow Chart: Site Plan Process
- Site Plan Package Checklist



SITE PLAN PACKAGE

Introduction

A site plan package is an accurately scaled development plan set that illustrates the details of proposed development and existing conditions on a parcel of land.

Site plans are required for all non-single-family residential developments in the City and the extra-territorial jurisdiction (ETJ). Site plans shall be submitted for review and approval prior to the issuance of applicable building or slab permits. The purpose of the site plan is to allow the staff to review issues such as traffic, land use, environmental, conformance to the Comprehensive Plan, utilities, and the property's relationship to adjoining subdivision or properties.

Prior to an approval of a site plan package, the property must have a Recorded Plat with the property lines in the appropriate configuration for the proposed development. Staff may review a site plan package if a plat is submitted and "in-process". Once the plat is recorded and comments on the site plan package are addressed, the site plan package can be approved by the City.

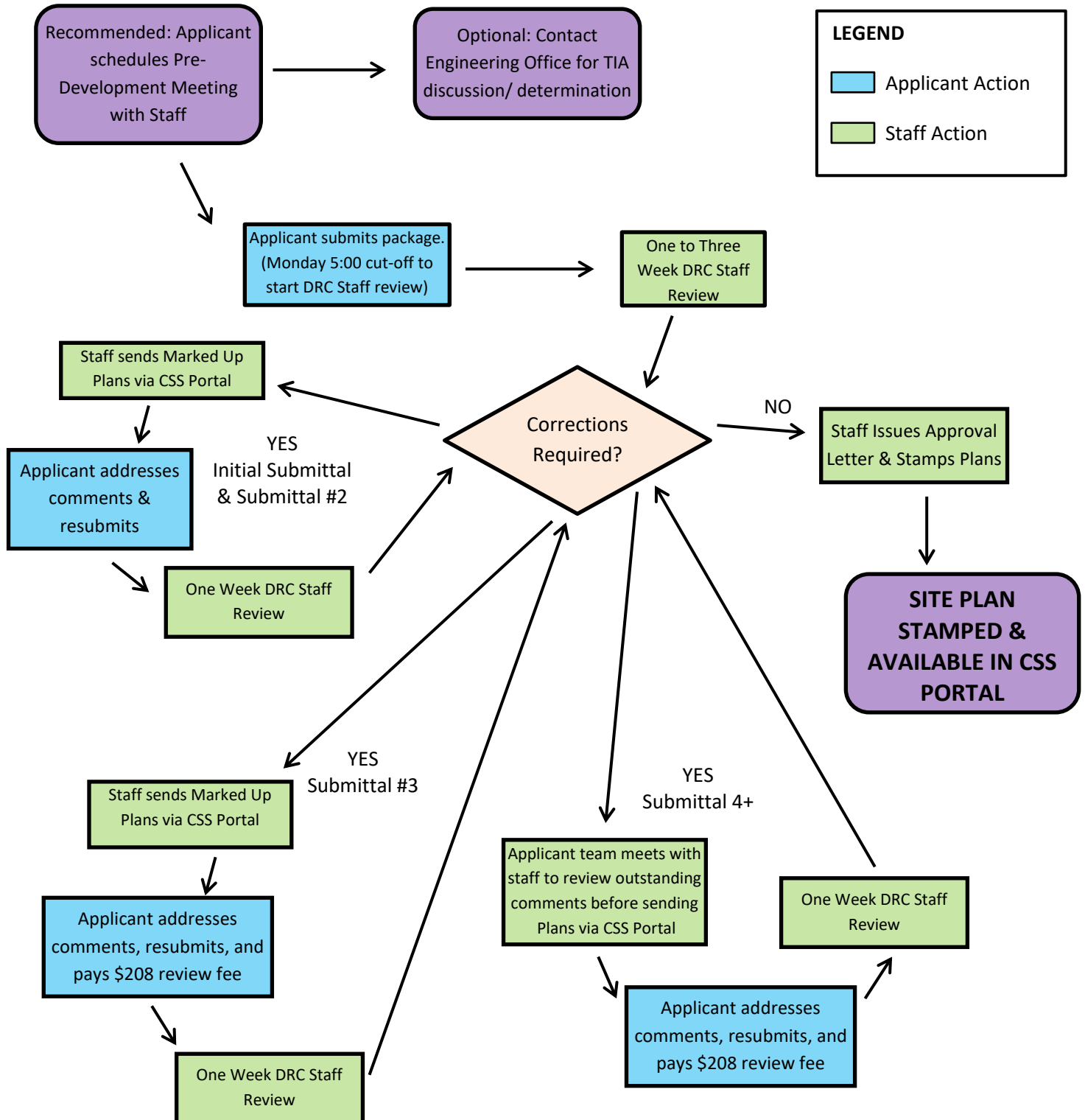
Review Process

When submitted, site plan packages are routed for review to the Development Review Committee (DRC), consisting of Engineering, Building, Fire, Planning, and Public Works Departments. The City's Airport staff and Parks & Recreation Department also review plans in certain circumstances. Staff review takes approximately two weeks, depending on the site and complexity of the project. Staff comments are provided via the CSS Portal as markups in the submitted PDF. Applicants make corrections and resubmit a corrected site plan package to the City. Staff typically reviews resubmittals within one week—confirming requested changes to the site plan package. If all comments have not been addressed, the applicant will be notified to make corrections and resubmit the site plan package. After two submittals, an additional resubmittal review fee of \$208 per additional resubmittal will be charged before staff will continue review of the site plan. If outstanding review comments remain after the third submittal, the applicant team must meet with staff for a Comment Review Meeting before the fourth submittal will be accepted. This meeting will also be required for all subsequent resubmittals (Version 4 and beyond) if outstanding comments persist. Once the site plan package is approved, an approval letter and the stamped Site Plan can be found online through the CSS Portal. Then the applicant may proceed with the building permit process through the Permits and Inspections Office at 281-275-2270.



FLOW CHART: SITE PLAN PROCESS

REVIEW AND APPROVAL PROCESS





Site Plan Package Checklist

Site Plan Packages are to include the following sheets/drawings in addition to the Application Fee of \$764.00 payable via the CSS Portal
(Note that some of the Civil Drawings may be combined)

1.	☐	All information provided is legible and easily read	
	☐	Be sure sheets are not submitted in “read-only” or “protected” format	
2.	☐	<u>COVER SHEET:</u>	
	☐	Vicinity Map—upper right hand corner	
	☐	Name and address of project (address required prior to site plan approval)	
	☐	Sheet Index (List only those sheets included in site plan package)	
	☐	Title Block (each sheet) containing: scale, date, and project name	
	☐	Owners and Applicants name, address, phone number	
3.	☐	<u>OVERALL SITE PLAN:</u>	
	☐	North arrow oriented to the right or top sheet	
	☐	Drawn to scale	
	☐	Proposed and existing structures to be shown	
	☐	Property lines and land uses within 200'	
	☐	Entire platted lot	
	☐	Street layout including driveways, medians and median breaks within 200 feet of site, including those on the opposite side of the street	
	☐	Proposed land use at site and use compliance with (City) zoning or (ETJ) general land plans	
	☐	Existing information recorded by Fort Bend County including easements and building lines	
	☐	Zoning designation if within City Limits	
	☐	Lot area (acres, square feet) and building area (square feet)	
	☐	Accessory structures or storage areas (if applicable)	
	☐	Building Setbacks: (setbacks greater adjacent to residential districts or use)	
		Front Side	Interior Sides
		Street Side	Rear Front
	☐	Parking Layout:	
	☐	Minimum Dimensions (typical space)	
	☐	Width for drives including maneuvering areas	
	☐	Minimum setback for parallel driving aisles at major/minor drives	
	☐	Number of parking spaces	
	☐	Number of handicapped spaces	
	☐	Parking setbacks: (Setbacks greater adjacent to residential districts or uses)	
		Front Side	Interior Sides
		Street Side	Rear Front
	☐	Vehicle Routes shown with arrows (If applicable) Ex. Drive thru routes-Vehicle	

	☐	Delivery Truck circulation routes shown and dimensioned (If applicable)																				
	☐	Adequate number of loading spaces per Development Code																				
	☐	Parking Analysis: Parking ratio/ sq. ft.-required vs. provided. See example below: EXAMPLE OF PARKING ANALYSIS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4" style="text-align: center;">PARKING CALCULATIONS BY BUILDING AREA</th> </tr> <tr> <th style="text-align: center;">LEVEL</th> <th style="text-align: center;">GROSS AREA</th> <th style="text-align: center;">EXEMPT AREA</th> <th style="text-align: center;">INCLUDED AREA</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">FIRST FLOOR</td> <td style="text-align: center;">9535 SF</td> <td style="text-align: center;">2272 SF</td> <td style="text-align: center;">7253 SF</td> </tr> <tr> <td style="text-align: center;">SECOND FLOOR</td> <td style="text-align: center;">9543 SF</td> <td style="text-align: center;">1660 SF</td> <td style="text-align: center;">7883 SF</td> </tr> <tr> <td colspan="3" style="text-align: center;">TOTAL INCLUDED AREA</td> <td style="text-align: center;">15136 SF</td> </tr> </tbody> </table> CITY OF SUGAR LAND PARKING REQUIREMENT OFFICE BUILDINGS: 1 SPACE/ 250 SF 15136 SF/ 250 SF = 60.5 SPACES REQUIRED 61 SPACES PROVIDED (See the Development Code for possible parking exemptions.)	PARKING CALCULATIONS BY BUILDING AREA				LEVEL	GROSS AREA	EXEMPT AREA	INCLUDED AREA	FIRST FLOOR	9535 SF	2272 SF	7253 SF	SECOND FLOOR	9543 SF	1660 SF	7883 SF	TOTAL INCLUDED AREA			15136 SF
PARKING CALCULATIONS BY BUILDING AREA																						
LEVEL	GROSS AREA	EXEMPT AREA	INCLUDED AREA																			
FIRST FLOOR	9535 SF	2272 SF	7253 SF																			
SECOND FLOOR	9543 SF	1660 SF	7883 SF																			
TOTAL INCLUDED AREA			15136 SF																			
	☐	Sidewalks and Driveways: (Sidewalks and driveways clearly labeled and dimensioned)																				
	☐	Bicycle Parking: A minimum of 2 spaces provided. ☐ Townhomes/Multi-family: bicycle parking spaces must be 2.5% of the required automobile parking spaces, but no more than 14 spaces shall be required. ☐ Non-residential uses: other than Health Care Facilities, the required minimum number of bicycle parking spaces is based on the automobile parking spaces required. ☐ Health Care Facilities including hospitals, nursing homes, and assisted living facilities: shall be calculated at 2.5% of the required employee automobile parking, up to a maximum of 30 required spaces.																				
	☐	Bicycle Parking Location: ☐ Placed in visible locations near a Building's primary entrance. ☐ If the development includes multiple buildings or facilities, bicycle parking shall be distributed to maximize convenience and use. ☐ For townhome uses, bicycle parking shall be provided in a common area near the Dwelling Units and, where possible, located adjacent to guest parking spaces. ☐ See Development Code for rack details.																				
	☐	Parking Garages: (if applicable)																				
	☐	Layout of each floor—spaces and driving aisles with dimensions																				
	☐	Interior & exterior lighting is FULL CUT OFF either through structural design or shielding (see Dev. Code Sec. 2-336 for more information)																				
4.	☐	LANDSCAPING PLAN: <i>Show location of all existing landscaped areas to remain and proposed landscaped areas to be installed including all plant materials with ht. at planting and mature crown spread of new and existing plants.</i>																				
	☐	Tree Preservation: (Protected Tree= Hardwood tree with minimum caliper of 8" at 4.5' ht.) ☐ All protected trees to be shown ☐ Trees and plants to be preserved/removed																				
	☐	Front and Street Side Yard Parking Lot Landscaping : ☐ Required Landscape area between parking lot and street ☐ Required screening between parking lot and street (TYP 3' high continuous hedge, fence or berm; fencing requires a vine or shrub every 10') ☐ Remainder of front yard contains grass, plants, or ground cover																				

☐	Side and Rear Yard Landscaping: ☐ Required Landscaped Areas (buffers) ☐ Required Trees ☐ Required Ground cover (All areas without improvements) ☐ Parking Lot Screening (i.e. Shrubs)																																																																				
☐	Additional Side and Rear Yard Landscaping Requirements when adjacent to Residential: ☐ Standard Zoning Districts: Required 6' Opaque Fence (Abutting premises for single / two family dwellings) from Front Building Line to Rear Lot Line and continuous hedge, fence, or berm: 6' to 8' between parking lot and lot line ☐ PD Districts: As required in PD																																																																				
☐	Interior Parking Lot (parking lots of more than 10 spaces) ☐ 162 square ft. of landscape area for each 20 spaces or fraction thereof ☐ Landscape areas must be 6' from back of curb and contain one tree ☐ Label square footage of each landscape area																																																																				
☐	Design Planting Criteria: ☐ Trees (Standard Zoning Districts 7'; PD: as required in PD Ordinance) ☐ Shrubs (Standard Zoning Districts 2'; PD: as required in PD Ordinance) ☐ Vines(Standard Zoning Districts 30"; PD: as required in PD Ordinance) ☐ Ground covers finished appearances within 3 months																																																																				
☐	Detention and retention basins and ponds landscaped																																																																				
☐	Indigenous and drought resistant plants if not a sprinkling system within 150'																																																																				
☐	Landscape Analysis: Amount of landscaping required vs. provided EXAMPLE OF LANDSCAPE ANALYSIS SUGAR LAND LANDSCAPE REQUIREMENTS CHART: 1. FRONT YARD LANDSCAPE REQUIREMENT: 1 TREE FOR EVERY 50 FEET OF FRONTAGE (101.1 LF = 3 TREES REQ'D.) PROVIDED: 3 2. SIDE AND REAR PARKING LANDSCAPE REQUIREMENT: 1 TREE FOR EVERY 50 FEET OF 25% SCREENING AREA (650 LF ALONG PARKING X 25% = 162.5 LF = 4 TREES REQ'D.) PROVIDED: 12 3. INTERIOR PARKING LANDSCAPE REQUIREMENTS: 162 SF TREE PLANTING AREA FOR EACH 20 SPACES (61 SPACES = 4 TREES REQ ' D.) PROVIDED : 8 <table border="1" style="width: 100%; border-collapse: collapse; text-align: center;"> <thead> <tr> <th colspan="4">EXISTING TREE CHART</th> </tr> <tr> <th>ID #</th> <th>CALIPER</th> <th># OF TRUNKS</th> <th>COMMON NAME</th> </tr> </thead> <tbody> <tr><td>1</td><td>4" 5" 6"</td><td>3</td><td>RIVER BIRCH</td></tr> <tr><td>2</td><td>4" 5" 6"</td><td>3</td><td>RIVER BIRCH</td></tr> <tr><td>3</td><td>11"</td><td>1</td><td>OAK</td></tr> <tr><td>4</td><td>12"</td><td>1</td><td>OAK</td></tr> <tr><td>5</td><td>7"</td><td>1</td><td>CYPRESS</td></tr> <tr><td>6</td><td>7"</td><td>1</td><td>CYPRESS</td></tr> <tr><td>7</td><td>7"</td><td>1</td><td>ELM</td></tr> <tr><td>8</td><td>7"</td><td>1</td><td>ELM</td></tr> <tr><td>9</td><td>4" 4" 4"</td><td>3</td><td>RIVER BIRCH</td></tr> <tr><td>10</td><td>7"</td><td>1</td><td>ELM</td></tr> <tr><td>11</td><td>7"</td><td>1</td><td>ELM</td></tr> <tr><td>12</td><td>8"</td><td>1</td><td>ELM</td></tr> <tr><td>13</td><td>4"</td><td>1</td><td>IRONWOOD</td></tr> <tr><td>14</td><td>2.5"</td><td>1</td><td>MAPLE</td></tr> <tr><td>15</td><td>8"</td><td>1</td><td>ELM</td></tr> </tbody> </table>	EXISTING TREE CHART				ID #	CALIPER	# OF TRUNKS	COMMON NAME	1	4" 5" 6"	3	RIVER BIRCH	2	4" 5" 6"	3	RIVER BIRCH	3	11"	1	OAK	4	12"	1	OAK	5	7"	1	CYPRESS	6	7"	1	CYPRESS	7	7"	1	ELM	8	7"	1	ELM	9	4" 4" 4"	3	RIVER BIRCH	10	7"	1	ELM	11	7"	1	ELM	12	8"	1	ELM	13	4"	1	IRONWOOD	14	2.5"	1	MAPLE	15	8"	1	ELM
EXISTING TREE CHART																																																																					
ID #	CALIPER	# OF TRUNKS	COMMON NAME																																																																		
1	4" 5" 6"	3	RIVER BIRCH																																																																		
2	4" 5" 6"	3	RIVER BIRCH																																																																		
3	11"	1	OAK																																																																		
4	12"	1	OAK																																																																		
5	7"	1	CYPRESS																																																																		
6	7"	1	CYPRESS																																																																		
7	7"	1	ELM																																																																		
8	7"	1	ELM																																																																		
9	4" 4" 4"	3	RIVER BIRCH																																																																		
10	7"	1	ELM																																																																		
11	7"	1	ELM																																																																		
12	8"	1	ELM																																																																		
13	4"	1	IRONWOOD																																																																		
14	2.5"	1	MAPLE																																																																		
15	8"	1	ELM																																																																		
☐	Irrigation Plan																																																																				
☐	Site Fencing and Screening: ☐ Indicate type, height, and proposed materials to be used ☐ All materials, products, or equipment which are stored outside of a completely enclosed building must be screened from view per ordinance																																																																				
☐	Note: Wire type fencing cannot be utilized for screening purposes. Ex. Plastic weave within a wire fence is not an allowed screening material under current Dev. Code																																																																				

		Accessory Structure Screening: ☐ Refuse containers (Solid masonry fence not less than 6' in height) ☐ Exterior ground-mounted or building-mounted equipment (Screened)																																																																																																																								
	☐	BUILDING ELEVATIONS DRAWINGS:																																																																																																																								
	☐	Compliance with Airport Height Hazard Regulations (Confirm whether FAA 7460 is required) (esp. Telfair & Imperial)																																																																																																																								
	☐	Compliance with building finishes regulation as applicable under state law and codes. See building finishes example formation below: EXAMPLE OF BUILDING FINISHES <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2" style="text-align: left;">EXTERIOR WALL FINISH: NORTH</th> <th colspan="2" style="text-align: left;">EXTERIOR WALL FINISH: SOUTH</th> <th colspan="2" style="text-align: left;">EXTERIOR WALL FINISH TOTALS</th> </tr> </thead> <tbody> <tr> <td>MASONARY BRICK- STONE:</td> <td style="text-align: right;">72%</td> <td>MASONARY BRICK- STONE:</td> <td style="text-align: right;">54%</td> <td>NORTH ELEVATION:</td> <td></td> </tr> <tr> <td>630 SF</td> <td></td> <td>579.56 SF</td> <td></td> <td>(PRIMARY)</td> <td style="text-align: right;">100%</td> </tr> <tr> <td>(PRIMARY)</td> <td></td> <td>(PRIMARY)</td> <td></td> <td>(SECONDARY)</td> <td style="text-align: right;">0%</td> </tr> <tr> <td>GLASS WALL:</td> <td style="text-align: right;">22%</td> <td>GLASS WALL:</td> <td style="text-align: right;">28%</td> <td>EAST ELEVATION:</td> <td></td> </tr> <tr> <td>192.05 SF</td> <td></td> <td>305.49 SF</td> <td></td> <td>(PRIMARY)</td> <td style="text-align: right;">87%</td> </tr> <tr> <td>(PRIMARY)</td> <td></td> <td>(PRIMARY)</td> <td></td> <td>(SECONDARY)</td> <td style="text-align: right;">13%</td> </tr> <tr> <td>CAST STONE</td> <td style="text-align: right;">6%</td> <td>CAST STONE</td> <td style="text-align: right;">6%</td> <td>SOUTH ELEVATION:</td> <td></td> </tr> <tr> <td>(WALL TRIM AND TRIM UNDER WINDOW)</td> <td></td> <td>(WALL TRIM AND TRIM UNDER WINDOW)</td> <td></td> <td>(PRIMARY)</td> <td style="text-align: right;">88%</td> </tr> <tr> <td>58.07 SF</td> <td></td> <td>67.26 SF</td> <td></td> <td>(SECONDARY)</td> <td style="text-align: right;">12%</td> </tr> <tr> <td>(PRIMARY)</td> <td></td> <td>(PRIMARY)</td> <td></td> <td>WEST ELEVATION:</td> <td></td> </tr> <tr> <td>TOTAL PRIMARY</td> <td style="text-align: right;">100%</td> <td>TOTAL PRIMARY</td> <td style="text-align: right;">88%</td> <td>(PRIMARY)</td> <td style="text-align: right;">98%</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td>(SECONDARY)</td> <td style="text-align: right;">2%</td> </tr> <tr> <td></td> <td></td> <td>EIFS:</td> <td style="text-align: right;">2%</td> <td>TOTAL PRIMARY:</td> <td style="text-align: right;">93%</td> </tr> <tr> <td></td> <td></td> <td>21.12 SF</td> <td></td> <td>TOTAL SECONDARY:</td> <td style="text-align: right;">7%</td> </tr> <tr> <td></td> <td></td> <td>(SECONDARY)</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>STUCCO:</td> <td style="text-align: right;">10%</td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>114.32 SF</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td>(SECONDARY)</td> <td></td> <td></td> <td></td> </tr> <tr> <td>TOTAL SECONDARY:</td> <td style="text-align: right;">0%</td> <td>TOTAL SECONDARY:</td> <td style="text-align: right;">12%</td> <td></td> <td></td> </tr> </tbody> </table>	EXTERIOR WALL FINISH: NORTH		EXTERIOR WALL FINISH: SOUTH		EXTERIOR WALL FINISH TOTALS		MASONARY BRICK- STONE:	72%	MASONARY BRICK- STONE:	54%	NORTH ELEVATION:		630 SF		579.56 SF		(PRIMARY)	100%	(PRIMARY)		(PRIMARY)		(SECONDARY)	0%	GLASS WALL:	22%	GLASS WALL:	28%	EAST ELEVATION:		192.05 SF		305.49 SF		(PRIMARY)	87%	(PRIMARY)		(PRIMARY)		(SECONDARY)	13%	CAST STONE	6%	CAST STONE	6%	SOUTH ELEVATION:		(WALL TRIM AND TRIM UNDER WINDOW)		(WALL TRIM AND TRIM UNDER WINDOW)		(PRIMARY)	88%	58.07 SF		67.26 SF		(SECONDARY)	12%	(PRIMARY)		(PRIMARY)		WEST ELEVATION:		TOTAL PRIMARY	100%	TOTAL PRIMARY	88%	(PRIMARY)	98%					(SECONDARY)	2%			EIFS:	2%	TOTAL PRIMARY:	93%			21.12 SF		TOTAL SECONDARY:	7%			(SECONDARY)						STUCCO:	10%					114.32 SF						(SECONDARY)				TOTAL SECONDARY:	0%	TOTAL SECONDARY:	12%		
EXTERIOR WALL FINISH: NORTH		EXTERIOR WALL FINISH: SOUTH		EXTERIOR WALL FINISH TOTALS																																																																																																																						
MASONARY BRICK- STONE:	72%	MASONARY BRICK- STONE:	54%	NORTH ELEVATION:																																																																																																																						
630 SF		579.56 SF		(PRIMARY)	100%																																																																																																																					
(PRIMARY)		(PRIMARY)		(SECONDARY)	0%																																																																																																																					
GLASS WALL:	22%	GLASS WALL:	28%	EAST ELEVATION:																																																																																																																						
192.05 SF		305.49 SF		(PRIMARY)	87%																																																																																																																					
(PRIMARY)		(PRIMARY)		(SECONDARY)	13%																																																																																																																					
CAST STONE	6%	CAST STONE	6%	SOUTH ELEVATION:																																																																																																																						
(WALL TRIM AND TRIM UNDER WINDOW)		(WALL TRIM AND TRIM UNDER WINDOW)		(PRIMARY)	88%																																																																																																																					
58.07 SF		67.26 SF		(SECONDARY)	12%																																																																																																																					
(PRIMARY)		(PRIMARY)		WEST ELEVATION:																																																																																																																						
TOTAL PRIMARY	100%	TOTAL PRIMARY	88%	(PRIMARY)	98%																																																																																																																					
				(SECONDARY)	2%																																																																																																																					
		EIFS:	2%	TOTAL PRIMARY:	93%																																																																																																																					
		21.12 SF		TOTAL SECONDARY:	7%																																																																																																																					
		(SECONDARY)																																																																																																																								
		STUCCO:	10%																																																																																																																							
		114.32 SF																																																																																																																								
		(SECONDARY)																																																																																																																								
TOTAL SECONDARY:	0%	TOTAL SECONDARY:	12%																																																																																																																							
	☐	Maximum height per zoning district indicated																																																																																																																								

	☐	Screening of rooftop equipment and storage areas shown (if applicable)
6.	☐	PHOTOMETRIC PLAN:
	☐	All lights are full cut-off (lens does not project below sides of fixture)
	☐	On Premises zoned R-4, B-O, B-1, B-2, MUC, M-1, or M-2: maximum Vertical Illuminance of 2 footcandles on an adjacent Premises zoned R-1E, R-1R, R-1, HR-1, R-1Z, MUC, R-3, or R-4, or residential area of a PD (measured at 10 feet inside the residential property)
	☐	On Premises zoned R-4, B-O, B-1, B-2, MUC, M-1, or M-2: maximum Vertical Illuminance 7.5 footcandles on an adjacent Premises zoned R-4, B-O, B-1, B-2, MUC, M-1, or M-2, or commercial or industrial area of a PD (measured at the property line adjoining a street right-of-way). Exceptions: PD area exempt or when light extends across property line of same zoning district
7.	☐	PAVING & DRAINAGE ENGINEERED CIVIL DESIGNS
	☐	Drainage calculations for the 2 and 100 year events signed and sealed by a registered professional engineer indicating compliance with the City of Sugar Land Design Standards and Fort Bend County Drainage Criteria Manual.
	☐	Overall area and drainage area boundaries, ponding depths, and flow per inlet
	☐	Existing elevations and enough adjoining property elevations to ascertain the general drainage pattern and tie-in methods. Show top of pavement and curb elevations as needed.
	☐	Address any adjoining property drainage issues that may be affected by the proposed improvements. For example, if the adjoining property is affected show how this will be handled.
	☐	Detention pond, if applicable, to be designed by a registered professional engineer and shall be in

		accordance with the Fort Bend County Drainage Criteria Manual or <i>methodology approved by the City of Sugar Land</i> . Prior to the certificate of occupancy being issued by the City, a signed sealed letter of completion by the engineer is required stating that the private detention and related drainage facilities (if applicable) shall be constructed in accordance with the City approved construction plans and specifications.
	☐	Type of pavement to be used
	☐	Slab elevation
	☐	All paving and drainage plans shall comply with City of Sugar Land Design Standards.
	☐	If easements are required, they shall comply with Chapter 5, Section 5-21 of the Sugar Land Development Code.
	☐	Driveway shall be spaced in accordance with Chapter 5, Article VII of the Development Code.
	☐	Improvements shall comply with Chapter 8 and 11 of the Sugar Land Development Code
8.	☐	<u>WATER, STORMWATER AND SANITARY SEWER ENGINEERED CIVIL DESIGNS</u>
	☐	Overall system is shown and meets all City of Sugar Land Design Standards.
	☐	Provide Plan and Profile drawings for all utilities.
	☐	Show clearance between all utilities.
	☐	Call out minimum depths of cover.
	☐	Size and location of proposed and existing water lines and fire hydrants. Show the meter vault easement if needed. Bold line for proposed and lighter lines for existing.
	☐	Size, type, and slope of pipe and connection to public system. (<i>The actual connection to the public system must comply with the City of Sugar Land Design Standards</i>).
	☐	Storm sewer lines, manholes and inlets existing and proposed. Show proposed lines bolder than existing and label as well.
	☐	Size, type, and grade of the sanitary sewer lines and any existing and proposed manholes.
	☐	Notify the City minimum 48 hours prior to connecting to public infrastructure
	☐	All public water and sanitary sewer, or connections to public utilities must comply with all City of Sugar Land Design Standards; <i>The actual connection to the public system must comply with the City of Sugar Land Design Standards and approved projects lists</i> .
	☐	Include all applicable City of Sugar Land Design Standards Detail that pertain to connections to public utilities.
	☐	Show the location of the irrigation meter.
	☐	Show and label the fire line, if required.
	☐	All water main intersections shall have a minimum of one (1) less valve than the number of water mains at the intersection.
	☐	The minimum commercial sanitary sewer services lead shall be a minimum 6" pipe or larger and shall not serve more than one commercial connection. In addition, the connection shall be made at a manhole by coring method.
	☐	All water and sanitary sewer plans shall comply with the City of Sugar Land Design Standards.
	☐	Show all water service connections.
	☐	Call out all valve types.
9.	☐	EROSION CONTROL PLAN
	☐	Storm Water Pollution Control Plan – Include City of Sugar Land Construction Details Sheets: SL-33, SL-34, SL-35
10.	☐	ADDITIONAL ITEMS
	☐	Benchmarks and Current Flood Classifications used are noted on plans.
	☐	All construction items used are on the City's pre-approved products list.
Site plan packages are required to comply with all applicable Development Code & Design Standard regulations.		