

**ORDINANCE NO. 1891**

**AN ORDINANCE OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING FROM PLANNED DEVELOPMENT (PD) DISTRICT-GENERAL DEVELOPMENT PLAN, TO PLANNED DEVELOPMENT (PD) DISTRICT-FINAL DEVELOPMENT PLAN, FOR APPROXIMATELY 64.517 ACRES OF LAND WITHIN THE IMPERIAL DEVELOPMENT FOR THE IMPERIAL SINGLE-FAMILY DEVELOPMENT AND THE IMPERIAL ENTRY SIGN FEATURE.**

WHEREAS, Johnson Development has requested that approximately 64.517 acres within the Imperial Development be rezoned from Planned Development (PD) District-General Development Plan to Planned Development (PD) District-Final Development Plan, the final phase of a Planned Development District, for the Imperial Single-Family Development and the Imperial Entry Sign Feature; and

WHEREAS, the City of Sugar Land Planning and Zoning Commission forwarded its final report to City Council, recommending approval of the rezoning request, with modifications; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS, the City Planning and Zoning Commission's recommended modifications have been incorporated and made a part of this ordinance; and

WHEREAS, the City Council finds that the zoning request as presented in this ordinance complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; NOW, THEREFORE:

**BE IT ORDAINED BY THE CITY COUNCIL  
OF THE CITY OF SUGAR LAND, TEXAS:**

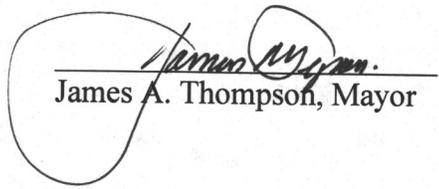
**Section 1.** That the facts and recitations set forth in the preamble of this ordinance are hereby declared to be true and correct.

**Section 2.** That the zoning district classification of approximately 64.517 acres of land described in Exhibit A, attached to and incorporated into this ordinance by reference, is changed from Planned Development (PD) District-General Development Plan to Planned Development (PD) District-Final Development Plan under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

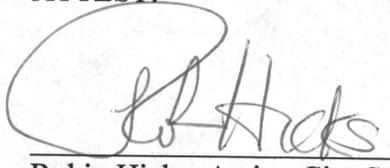
**Section 3.** That the City's official zoning map be amended to reflect this change in zoning district classification.

READ IN FULL on first consideration on February 19, 2013.

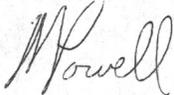
APPROVED upon second consideration on March 5, 2013.

  
James A. Thompson, Mayor

ATTEST:

  
Robin Hicks, Acting City Secretary

Reviewed for Legal Compliance:



Attachments: Exhibit A: Metes and Bounds Description  
Exhibit B: Final Development Plan  
Exhibit B-1: Site Plan  
Exhibit B-1a: Location Map  
Exhibit B-2: Lot Configurations  
Exhibit B-2A: Townhouse Lot Configurations  
Exhibit B-3: Street Hierarchy Plan  
Exhibit B-4: Cross Section Reference Plan  
Exhibit B-5: Street Sections  
Exhibit B-6: Parking Plan  
Exhibit B-7: Landscape, Open Space and Trail Plan  
Exhibit B-8: Plant List for Ballpark Single Family at Imperial  
Exhibit B-9: Gated Entry Configuration at Stadium Drive  
Exhibit B-10: Entry Landscape Sitework Plan at S.H. 6  
Exhibit B-11: Entry Sign Plan at S.H. 6  
Exhibit B-12: Entry Monument at S.H. 6

**Exhibit A: Metes and Bounds Description (Single-Family Site):**

Exhibit A Page 1 of 4 Pages

County: Fort Bend  
Project: Imperial – SF  
Job No. 063701  
MB No. 12-086



**FIELD NOTES FOR 63.561 ACRES**

Being a tract containing 63.561 acres of land located in the Alexander Hodge League, Abstract Number 32, and the S.M. Williams League, Abstract Number 97, in Fort Bend County, Texas; Said 63.561 acre tract being a portion of a call 497.696 acre tract of land, styled Tract "F", recorded in the name of Cherokee Sugar Land, L.P., in Fort Bend County Clerk's File (F.B.C.C.F.) number 2011006653 and a portion of a call 60.770 acre tract of land, styled Tract "B", recorded in the name of The State of Texas in F.B.C.C.F. number 2011006652; Said 63.561 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

**Beginning** at a concrete monument found at an easterly corner of said Tract "F" and on the westerly Right-of-Way (R.O.W.) line of Burney Road (width varies);

Thence, with the easterly line of said Tract "F", the following six (6) courses:

1. South 75 degrees 33 minutes 28 seconds West, at a distance of 12.90 feet passing the northeasterly corner of The Estates of Oyster Creek, a subdivision recorded in Plat Number 20050241 of the Fort Bend County Plat Records (F.B.C.P.R.), in all a distance of 773.26 feet to a concrete monument found at the northwesterly corner of said The Estates of Oyster Creek;
2. South 03 degrees 11 minutes 52 seconds East, a distance of 1258.67 feet;
3. South 59 degrees 18 minutes 04 seconds West, a distance of 126.75 feet;
4. South 26 degrees 29 minutes 13 seconds West, a distance of 119.14 feet;
5. South 14 degrees 14 minutes 13 seconds West, a distance of 300.74 feet;
6. South 59 degrees 31 minutes 11 seconds West, a distance of 8.25 feet to the northeasterly corner of aforesaid Tract "B";

Thence, with the easterly line of said Tract "B", the following four (4) courses:

1. South 14 degrees 14 minutes 33 seconds West, a distance of 20.45 feet;
2. South 08 degrees 44 minutes 02 seconds East, a distance of 560.00 feet;
3. South 05 degrees 31 minutes 43 seconds West, a distance of 762.11 feet;

**Exhibit A: Metes and Bounds Description (Single-Family Site):**

Exhibit \_\_\_\_ Page 2 of 4 Pages

4. South 40 degrees 00 minutes 58 seconds West, a distance of 110.00 feet;

Thence, through and across aforesaid Tract "B" and Tract "F", the following nineteen (19) courses:

1. North 45 degrees 34 minutes 51 seconds West, a distance of 128.15 feet;
2. 382.74 feet along the arc of a curve to the right, said curve having a central angle of 27 degrees 09 minutes 26 seconds, a radius of 807.50 feet, and a chord which bears North 32 degrees 00 minutes 09 seconds West, a distance of 379.17 feet;
3. North 18 degrees 25 minutes 26 seconds West, a distance of 116.68 feet;
4. 895.98 feet along the arc of a curve to the left, said curve having a central angle of 57 degrees 31 minutes 09 seconds, a radius of 892.50 feet, and a chord which bears North 47 degrees 11 minutes 00 seconds West, a distance of 858.83 feet;
5. North 13 degrees 08 minutes 23 seconds East, a distance of 45.57 feet;
6. North 11 degrees 43 minutes 49 seconds East, a distance of 120.57 feet;
7. North 27 degrees 21 minutes 37 seconds East, a distance of 71.64 feet;
8. North 45 degrees 00 minutes 46 second East, a distance of 133.56 feet;
9. North 15 degrees 21 minutes 24 seconds East, a distance of 121.37 feet;
10. North 20 degrees 51 minutes 47 seconds West, a distance of 103.41 feet;
11. North 46 degrees 38 minutes 57 seconds West, a distance of 57.58 feet;
12. North 68 degrees 58 minutes 50 seconds West, a distance of 359.46 feet;
13. North 07 degrees 59 minutes 33 seconds East, a distance of 20.63 feet;
14. 801.78 feet along the arc of a curve to the right, said curve having a central angle of 48 degrees 06 minutes 11 seconds, a radius of 955.00 feet, and a chord which bears North 32 degrees 02 minutes 38 seconds East, a distance of 778.44 feet;
15. North 56 degrees 05 minutes 44 seconds East, a distance of 173.28 feet;
16. 649.65 feet along the arc of a curve to the left, said curve having a central angle of 18 degrees 12 minutes 05 seconds, a radius of 2045.00 feet, and a chord which bears North 46 degrees 59 minutes 41 seconds East, a distance of 646.92 feet;

## Exhibit A: Metes and Bounds Description (Single-Family Site):

Exhibit \_\_\_\_ Page 3 of 4 Pages

17. North 37 degrees 53 minutes 38 seconds East, a distance of 173.28 feet;
18. 455.58 feet along the arc of a curve to the right, said curve having a central angle of 27 degrees 19 minutes 57 second, a radius of 955.00 feet, and a chord which bears North 51 degrees 33 minutes 37 seconds East, a distance of 451.27 feet;
19. North 65 degrees 13 minutes 36 seconds East, a distance of 400.38 feet to the aforesaid westerly R.O.W. line of Burney Road;

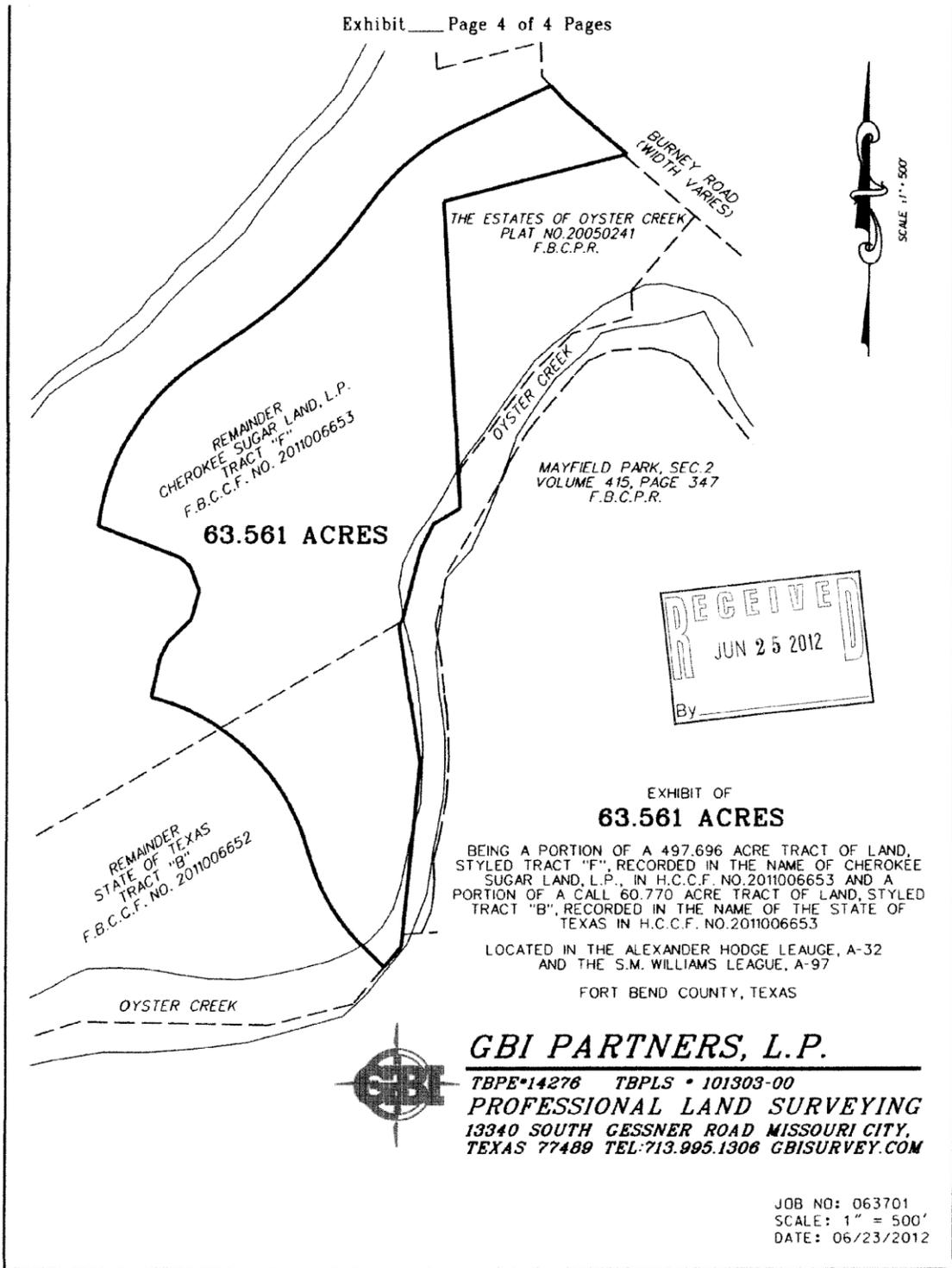
Thence, with said westerly R.O.W. line, the following two (2) courses:

1. South 42 degrees 57 minutes 00 seconds East, a distance of 97.22 feet;
2. South 49 degrees 27 minutes 21 seconds East, a distance of 319.33 feet to the **Point of Beginning** and containing 63.561 acres of land.

GBI PARTNERS, L.P.  
Phn: 713.995.1306  
June 23, 2012

**Exhibit A: Metes and Bounds Description (Single-Family Site):**

Exhibit \_\_\_ Page 4 of 4 Pages



RECEIVED  
JUN 25 2012  
By \_\_\_\_\_

EXHIBIT OF  
**63.561 ACRES**

BEING A PORTION OF A 497.696 ACRE TRACT OF LAND, STYLED TRACT "F", RECORDED IN THE NAME OF CHEROKEE SUGAR LAND, L.P., IN H.C.C.F. NO. 2011006653 AND A PORTION OF A CALL 60.770 ACRE TRACT OF LAND, STYLED TRACT "B", RECORDED IN THE NAME OF THE STATE OF TEXAS IN H.C.C.F. NO. 2011006653

LOCATED IN THE ALEXANDER HODGE LEAUGE, A-32 AND THE S.M. WILLIAMS LEAUGE, A-97  
FORT BEND COUNTY, TEXAS

**GBI PARTNERS, L.P.**

TBPE\*14276 TBPLS \* 101303-00  
**PROFESSIONAL LAND SURVEYING**  
13340 SOUTH GESSNER ROAD MISSOURI CITY,  
TEXAS 77489 TEL:713.995.1306 GBISURVEY.COM

JOB NO: 063701  
SCALE: 1" = 500'  
DATE: 06/23/2012

**Exhibit A: Metes and Bounds Description (South Entry Sign Site):**

Exhibit \_\_\_\_ Page 1 of 2 Pages

County: Fort Bend  
Project: Imperial Redevelopment  
Job No. 063701  
MB No. 12-124

**FIELD NOTES FOR 0.454 ACRE**

Being a tract containing 0.454 acre of land located in the Alexander Hodge League, Abstract Number 32, in Fort Bend County, Texas; Said 0.454 acre tract being a portion of the remainder of a call 497.696 acre tract of land recorded in the name of Cherokee Sugar Land, L.P. in Fort Bend County Clerk's File (F.B.C.C.F.) Number 2007088840, styled Tract "F"; Said 0.454 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

**Beginning** at 5/8-inch iron rod found at the most southerly corner of the southeasterly intersection of State Highway 6 (width varies), as described in Volume 1821, Page 978 of the Fort Bend County Deed Records (F.B.C.D.R.) and Volume 469, Page 246 of the F.B.C.D.R., and Imperial Boulevard (width varies) as recorded in Plat Number 20120139 of the Fort Bend County Plat Records (F.B.C.P.R.);

Thence, with the northerly Right-of-Way (R.O.W.) line of said Imperial Boulevard, the following two (2) courses:

1. North 32 degrees 04 minutes 46 seconds East, a distance of 28.02 feet to a 5/8-inch iron rod found;
2. North 83 degrees 48 minutes 35 seconds East, a distance of 127.02 feet;

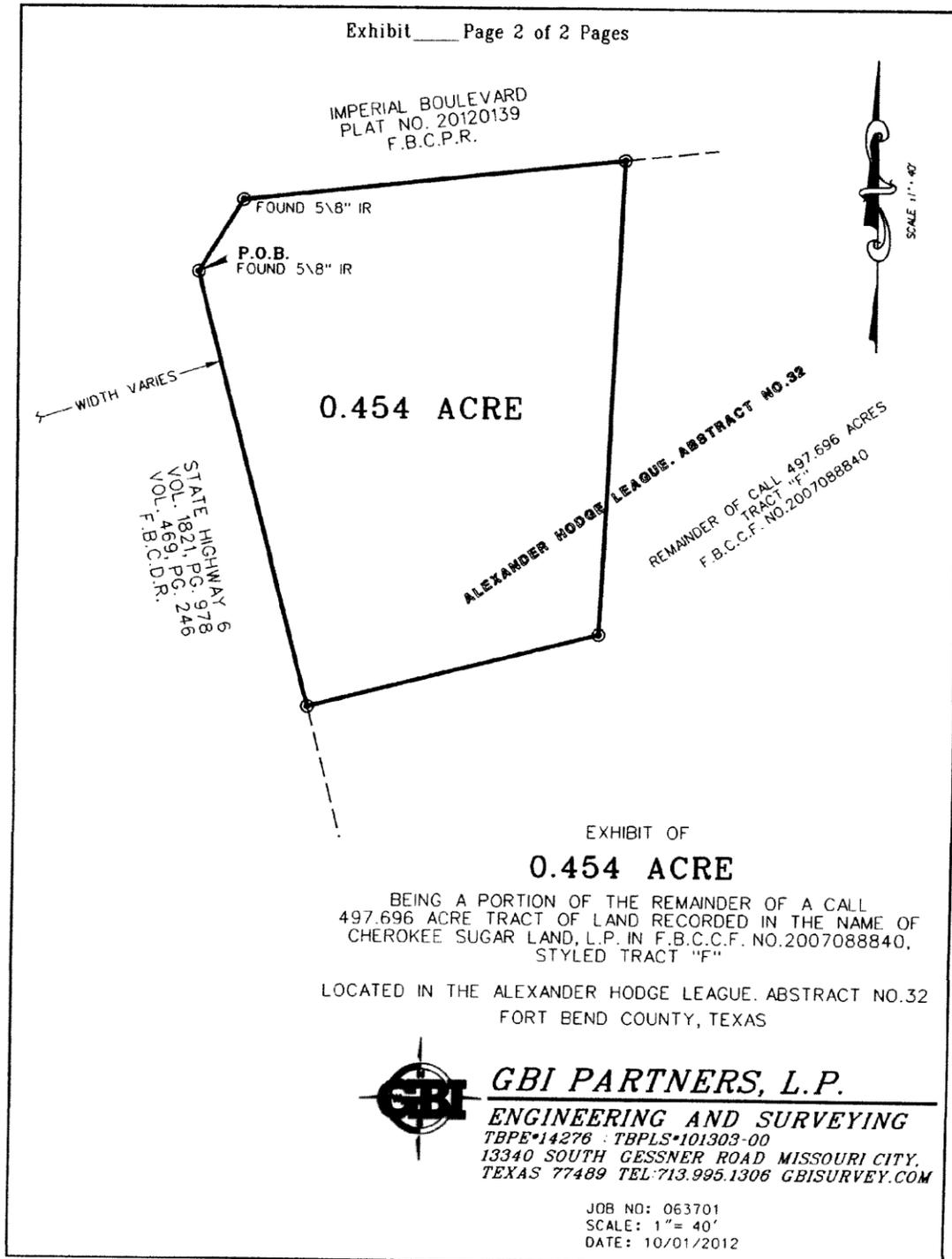
Thence, leaving said southerly R.O.W. line, through and across said Tract "F", the following two (2) courses:

1. South 02 degrees 34 minutes 22 seconds West, a distance of 157.08 feet;
2. South 75 degrees 41 minutes 54 seconds West, a distance of 99.58 feet to the easterly R.O.W. line of said State Highway 6;

Thence, with said easterly R.O.W. line, North 14 degrees 37 minutes 46 seconds West, a distance of 148.91 feet to the **Point of Beginning** and containing 0.454 acre of land.

GBI PARTNERS, L.P.  
Phn: 713.995.1306  
October 1, 2012

**Exhibit A: Metes and Bounds Description (South Entry Sign Site):**



**Exhibit A: Metes and Bounds Description (North Entry Sign Site):**

Exhibit \_\_\_\_ Page 1 of 2 Pages

County: Fort Bend  
Project: Imperial Redevelopment  
Job No. 063701  
MB No. 12-123

**FIELD NOTES FOR 0.502 ACRE**

Being a tract containing 0.502 acre of land located in the Alexander Hodge League, Abstract Number 32, in Fort Bend County, Texas; Said 0.502 acre tract being a portion of the remainder of a call 497.696 acre tract of land recorded in the name of Cherokee Sugar Land, L.P. in Fort Bend County Clerk's File (F.B.C.C.F.) Number 2007088840, styled Tract "F"; Said 0.502 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

**Beginning** at 5/8-inch iron rod found at the most northerly corner of the northeasterly intersection of State Highway 6 (width varies), as described in Volume 1821, Page 978 of the Fort Bend County Deed Records (F.B.C.D.R.) and Volume 469, Page 246 of the F.B.C.D.R., and Imperial Boulevard (width varies) as recorded in Plat Number 20120139 of the Fort Bend County Plat Records (F.B.C.P.R.);

Thence, with the easterly Right-of-Way (R.O.W.) line of said State Highway 6, North 14 degrees 27 minutes 07 seconds West, a distance of 128.33 feet;

Thence, leaving said easterly R.O.W. line, through and across said Tract "F", the following two (2) courses:

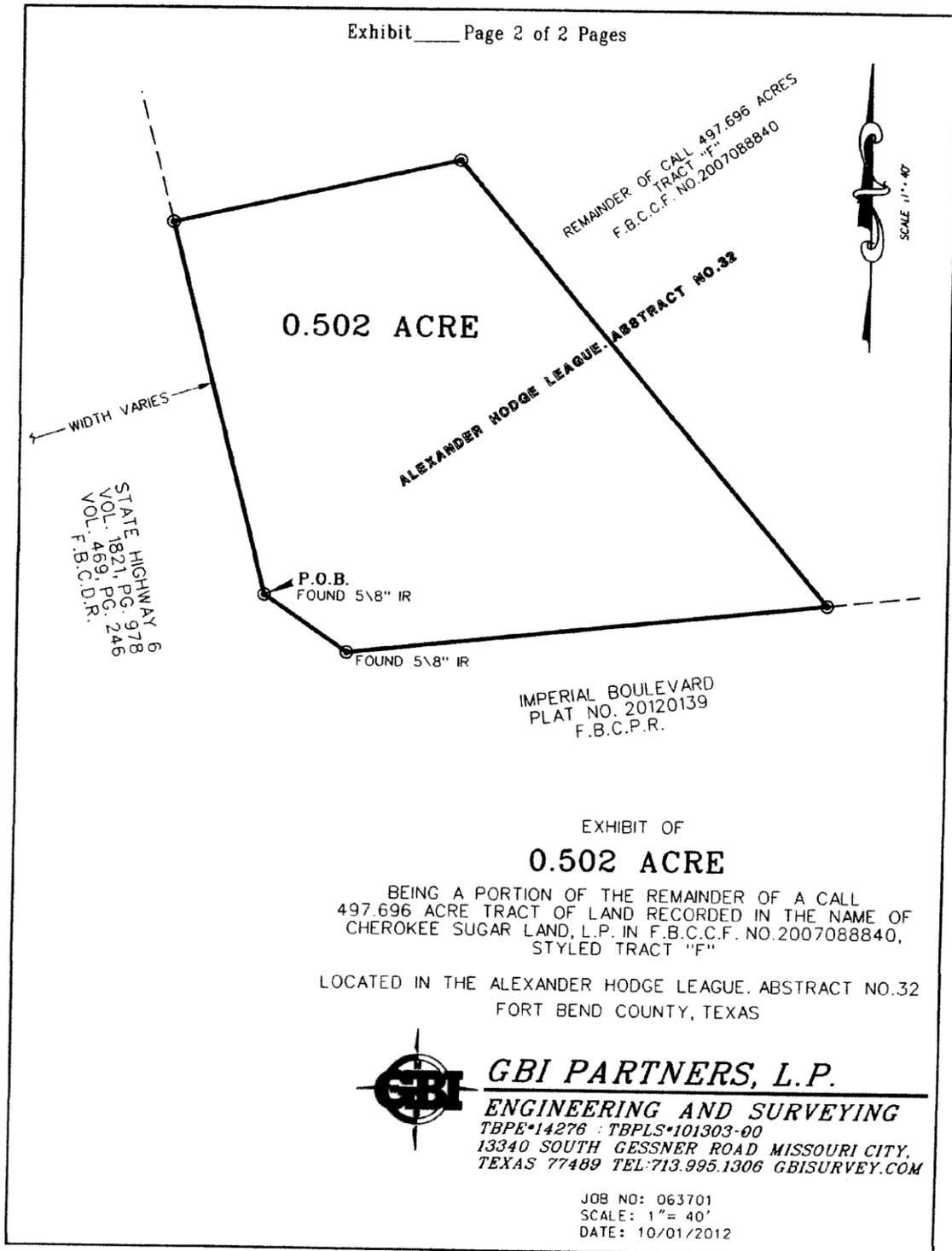
1. North 77 degrees 22 minutes 43 seconds East, a distance of 98.08 feet;
2. South 40 degrees 15 minutes 03 seconds East, a distance of 193.15 feet to the northerly R.O.W. line of said Imperial Boulevard;

Thence, with said northerly R.O.W. line, the following two (2) courses:

1. South 83 degrees 48 minutes 58 seconds West, a distance of 161.77 feet to a 5/8-inch iron rod found;
2. North 55 degrees 19 minutes 07 seconds West, a distance of 33.64 feet to the **Point of Beginning** and containing 0.502 acre of land.

GBI PARTNERS, L.P.  
Phn: 713.995.1306  
October 1, 2012

**Exhibit A: Metes and Bounds Description (North Entry Sign Site):**



**EXHIBIT B**  
**FINAL DEVELOPMENT PLAN**  
**Imperial Single Family Residential**

**A. Contents.** This final development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations for Single Family Lots
- Development Regulations for Townhome Lots
- Streets and Shared/Common Driveway
- Parking Regulations
- Landscape and Pedestrian Circulation Regulations
- Building Regulations

**B. General Provisions.**

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a R-1 (Standard Single Family Residential) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the R-1 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this Final Development Plan have the meaning established by the Development Code. In this ordinance:

*Ballpark District* means the Ballpark District as shown on the General Development Plan for Imperial.

*Estates of Oyster Creek* means the existing platted and developed single-family residential subdivision adjoining to the east of the PD.

*General Development Plan* means the General Development Plan for Imperial, as established by City of Sugar Land Ordinance No. 1852.

*Mayfield Park* means the existing platted and developed single-family residential subdivision across Oyster Creek to the east of the PD.

*Open Space* means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

*PD* means the planned development district created by this ordinance.

*Porch* means the integral front entrance to a residential building, partly if not entirely covered, that is at least 8-feet deep and extends at least 25% of the front façade width.

*Pavers* mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

*Shared/Common Driveway* means a privately owned and maintained vehicular access way that provides access from a public street to townhome lots.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Exhibit B-1a:	<i>Location Map</i>
Exhibit B-1:	<i>Site Plan</i>
Exhibit B-2:	<i>Lot Configurations</i>
Exhibit B-2a:	<i>Townhouse Lot Configurations</i>
Exhibit B-3:	<i>Street Hierarchy Plan</i>
Exhibit B-4:	<i>Cross Section Reference Plan</i>
Exhibit B-5:	<i>Street Sections</i>
Exhibit B-6:	<i>Parking Plan</i>
Exhibit B-7:	<i>Landscape, Open Space &amp; Trail Plan</i>
Exhibit B-8:	<i>Plant List</i>
Exhibit B-9:	<i>Gated Entry Configuration at Stadium Drive</i>
Exhibit B-10:	<i>Entry Landscape Sitework Plan at S.H. 6</i>
Exhibit B-11:	<i>Entry Sign Plan at S.H. 6</i>
Exhibit B-12:	<i>Entry Monument at S.H. 6</i>

4. As shown on **Exhibit B-1a, *Location Map***, the PD encompasses the following three tracts that total 64.517 acres:
  - (a) 63.561 acres northeast of Stadium Drive and Imperial Boulevard, within the Ballpark District, Tracts C and F.
  - (b) 0.454 acres at the southeast corner of State Highway 6 and Imperial Boulevard, within the Highway 6 District.
  - (c) 0.502 acres at the northeast corner of State Highway 6 and Imperial Boulevard, within the Highway 6 District.

**C. Land Uses.**

1. Permitted land uses are listed below. All other land uses are prohibited in the PD.

<u>Use</u>	<u>SIC Code</u>
Private Household Services	8811
Dwellings – Single Family	99 (Non-Classifiable)
Dwellings – Single Family Attached (Townhomes)	99 (Non-Classifiable)
Parks and Recreational Facilities, Public or Private	99 (Non-Classifiable)
Residential Sales Office (Temporary)	

- D. Development Regulations for Single Family Lots** – As shown on **Exhibit B-2, *Lot Configurations***, single-family home sites within the PD shall be developed in accordance with the following regulations:

1. Minimum lot area: 5,000 square feet
2. Minimum lot width: 50 feet; 60 feet for corner lots
3. Minimum lot depth: 100 feet
4. Maximum lot coverage: 60%
5. Maximum height of structures:
  - (a) 2 stories, but no more than 35 feet from ground level, if 100 feet or less from the Estates of Oyster Creek and Mayfield Park, as shown on [Exhibit B-1, Site Plan](#)
  - (b) 2 & 1/2 stories, but no more than 35 feet from ground level, throughout the remainder of the single family portion of the PD.
6. Minimum front yard building setbacks:
  - (a) 15 feet for the principal structure
  - (b) Garages:
    - (i) 15 feet when the garage face is perpendicular to the street
    - (ii) 20 feet when the garage face is parallel to the street
    - (iii) At least 5 feet greater than the principal structure, excluding the garage, when the garage face is parallel to the street
  - (c) Porches, as defined herein, may encroach the front yard setback by a maximum of 5 feet.
7. Minimum side yard building setbacks:
  - (a) 0-foot yard on one side adjoined by 10-foot yard on adjacent lot, or 10-foot easement
  - (b) 10 feet for the other side yard
  - (c) 10 feet on a street side
  - (d) For a garage, 20 feet on a street side when the garage face is parallel to the street
  - (e) For designated lots as shown on [Exhibit B-1, Site Plan](#), 5 feet with a 10-foot minimum between structures.
8. Minimum rear yard building setback: 10 feet

**E. Development Regulations for Townhome Lots** – As shown on [Exhibit B-2, Lot Configurations](#), and [Exhibit B-2a, Townhouse Lot Configurations](#), townhome sites within the PD shall be developed in accordance with the following regulations:

1. Vehicular Access: All lots shall take access from a shared/common driveway as described in Section F.3. No lot shall take direct vehicular access from Imperial Boulevard.
2. Minimum lot area: 3,000 square feet
3. Minimum lot width: 28 feet
4. Minimum lot depth: 100 feet

5. Maximum lot coverage: 85%
6. Maximum height of structures: 3 stories, but no more than 45 feet from ground level.
7. Minimum building setbacks:
  - (a) Front yard: 10 feet
  - (b) Side yard: 0 feet if attached; or 5 feet if detached, but the sum of two adjacent side yards must be at least 10 feet if detached
  - (c) Rear yard: 3 feet from rear access and utility easement, typically 10.5 feet from the shared/common driveway
8. Minimum rear yard fence setback: 2.5 feet from the shared/common driveway.
9. All townhome lots will front on Imperial Boulevard with a maximum front yard setback of 13 feet.
10. Front yard fences: Materials will include brick and/or stone with ornamental iron. Less than 50% of the fence face shall be opaque, and the maximum height shall not exceed 32 inches.
11. Open space reserves that include guest parking spaces per Section G.4 below shall be platted concurrent with the townhome lots.

**F. Streets and Shared/Common Driveway** – As shown on [Exhibit B-3, \*Street Hierarchy Plan\*](#) and [Exhibit B-5, \*Street Sections\*](#), vehicular circulation for the PD shall be developed in accordance with the following regulations:

1. All three residential streets intersecting Stadium Drive and Imperial Boulevard will include a change in pavement color, texture or paving pattern within the residential street at the subdivision entrance to promote traffic calming and identify the neighborhood.
2. Streets may be private if the subdivision contains no more than 85 single family lots, provided there are at least two points of access.
3. A 15-foot wide shared/common driveway within a 25-foot wide access and utility easement shall be located to the rear of the townhome lots. Overhead utility lines are prohibited along the driveway.
4. The shared/common driveway shall provide vehicular access to all townhome lots. The shared/common driveway shall not provide vehicular access to any single-family patio lot that does not front to Imperial Boulevard.

**G. Parking Regulations.**

1. Parallel parking will be prohibited along one or both sides of specific streets as indicated on [Exhibit B-6, \*Parking Plan\*](#).

2. Parallel parking will be prohibited along the shared/common driveway.
3. “No parking” signs will be installed where parking is prohibited.
4. Required parking for townhomes will include 2 garage spaces per unit, plus at least 9 parallel spaces along the shared/common driveway to serve the 27 townhomes.

**H. Landscape and Pedestrian Circulation Regulations** – As shown on [Exhibit B-7, Landscape, Open Space & Trail Plan](#), the PD shall be developed in accordance with the following landscape and pedestrian circulation regulations:

1. Landscape buffers:
  - (a) 25-foot minimum buffer shall be provided along Oyster Creek, Burney Road and adjacent to the *Estates of Oyster Creek*.
  - (b) 10-foot minimum buffer, contiguous to lot lines, shall be provided along Stadium Drive.
  - (c) 10-foot minimum buffer, contiguous to lot lines, shall be provided along either side of the primary entrance street off Stadium Drive.
  - (d) 10-foot minimum buffer, contiguous to the lot line, shall be provided along the east side of the entrance street off Imperial Boulevard.
  - (e) Required buffers along Stadium Drive and entrance streets shall include one shade tree for each 30 feet of street frontage, or portion thereof, measured along the right-of-way line. The trees may be clustered or spaced linearly; they need not be placed evenly.
  - (f) Required buffers may include trails per Section H.5.
2. Open Space:
  - (a) Minimum 15% open space, inclusive of the detention pond, to be distributed as shown on [Exhibit B-7](#).
  - (b) Open space within the PD shall also include the minimum 15% open space requirement for Tract D, per the General Development Plan. Open space for Tract D shall be located adjacent to Tract D
  - (c) Open space around the detention pond shall include at least two (2) seating areas and four (4) bicycle parking spaces, with at least two (2) shade trees for each seating and bicycle parking area.
3. Shade trees:
  - (a) Trees required per Section 3-4 (Residential Front Yard Landscaping Requirements) of the Development Code may be located within public street right-of-way, landscape buffers, or other common open space adjacent to the lot.
  - (b) In addition to requirements of Section 3-4 of the Development Code, one tree shall be provided within 15 feet of a street-side lot line per 50 feet of lot frontage on the side street, or portion thereof. Tree may be located within public right-of-way.
  - (c) Trees within street medians shall be provided at one tree per 30 linear feet of median or portion thereof.
  - (d) Shade trees shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted.
4. Plant species used to satisfy the requirements of the PD are listed on [Exhibit B-8, Plant List](#).

5. Sidewalks & trails:
  - (a) Minimum 5-foot width sidewalks shall be provided along both sides of local residential streets.
  - (b) A minimum 5-foot wide trail shall be provided along the perimeter of the detention pond with 5-foot wide connections to the Stadium Drive and Imperial Boulevard sidewalks.
  - (c) All sidewalks and trails shall be paved with concrete.
6. Lighting used to illuminate sidewalks, trails, landscape buffers, the pedestrian plaza, or other common open space shall be arranged, located, or screened to direct light away from residential lots.

**I. Building Regulations** – Single family homes within the PD shall be developed in accordance with the following building regulations:

1. At least 50% of each of each building façade exterior finish shall be constructed of masonry, glass, or fiber cement siding. In this PD, masonry also includes cementitious stucco.
2. The following building materials shall not be used on the exterior finish:
  - (a) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic, or fiberglass panels.
  - (b) Smooth or untextured concrete surfaces.
  - (c) Exterior Insulated Finish Systems (E.I.F.S.)
  - (d) Galvanized, aluminum coated, zinc-aluminum coated, or unpainted metal finishes.
  - (e) Unfired or underfired clay, sand, or shale brick.
3. No single exterior finish material shall cover more than 80% of the front of any single family home.
4. Builders of the townhome units shall achieve Bronze level certification utilizing the Greater Houston Builders Association (GHBA) *Green Built Gulf Coast Program* as the basis for their design and construction requirements.

# EXHIBIT B-1: SITE PLAN

## BALLPARK DISTRICT -- TRACTS C & F

- PROPOSED OPEN SPACE
- ZERO-LOT LINE HOMES (116 LOTS)
- TOWNHOMES (28 LOTS)
- 15' SHARED COMMON DRIVEWAY (TO TOWNHOMES ONLY)
- DESIGNATED LOT WITH 5' MINIMUM SIDEYARD SETBACK PER EXHIBIT B. D.5(d)

EXIT ONLY & EMERGENCY ACCESS GATES (MINIMUM 60' SETBACK)

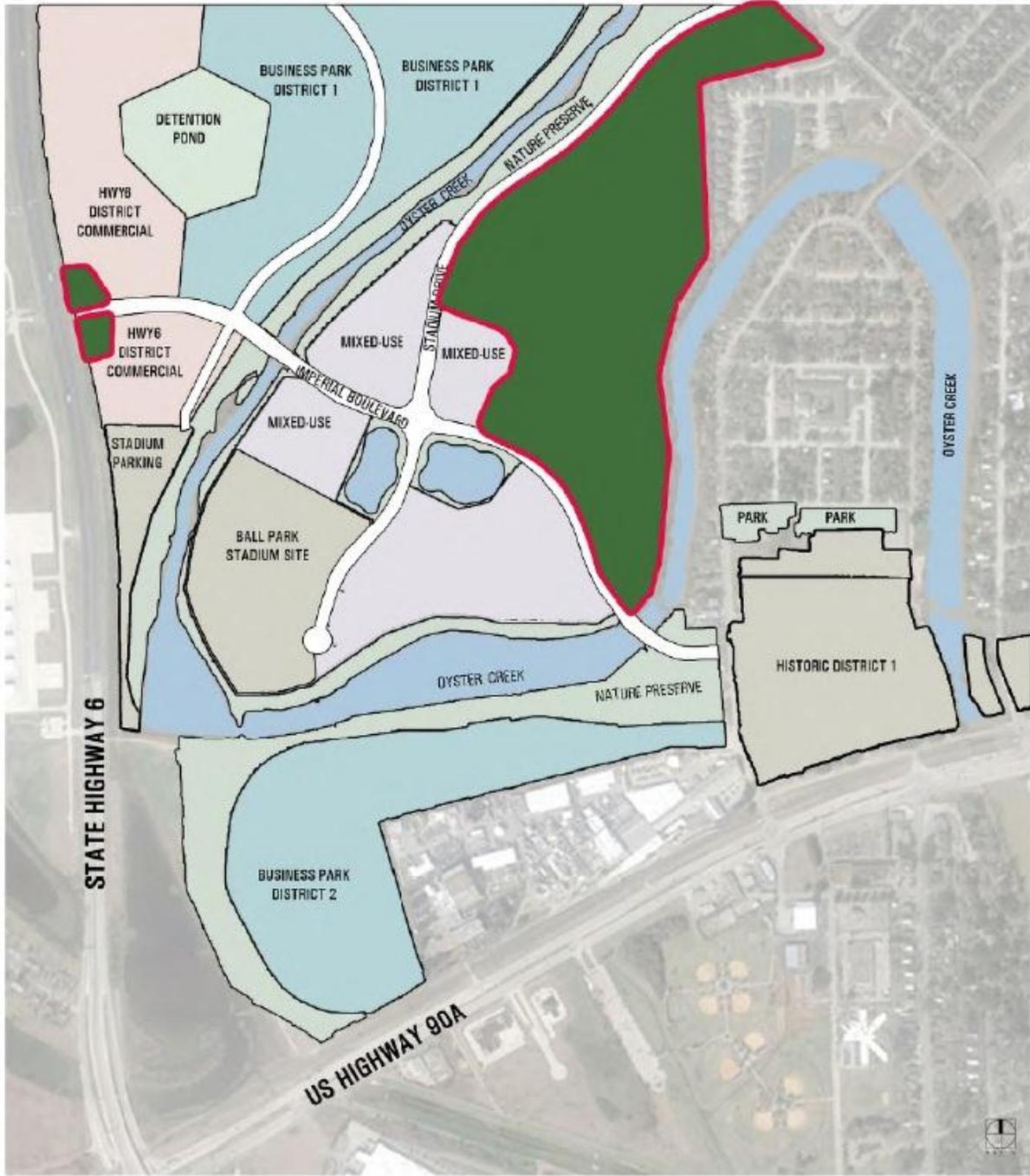
ACCESS GATES (MINIMUM 60' SETBACK)



## EXHIBIT B-1: IMPERIAL SINGLE FAMILY RESIDENTIAL



**EXHIBIT B-1a: LOCATION MAP**



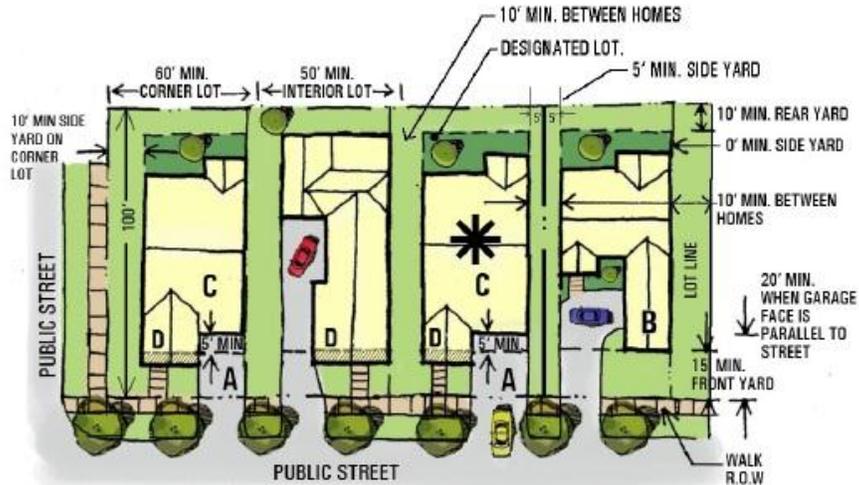
**EXHIBIT B-1a: LOCATION MAP**



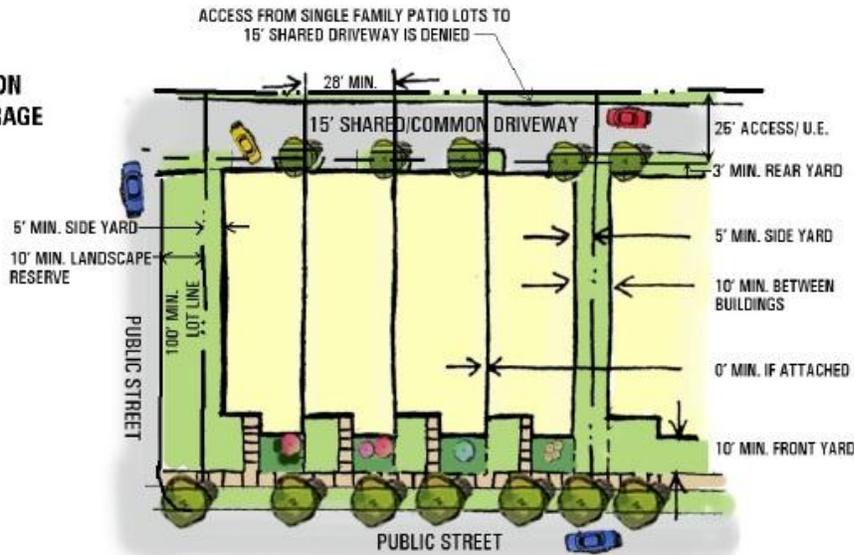
**EXHIBIT B-2  
LOT CONFIGURATIONS**

**SINGLE FAMILY/PATIO  
LOT CONFIGURATION  
-- MAX. 60% COVERAGE**

- A. GARAGE RESTRICTED TO A MINIMUM 20' FRONT SETBACK WHEN THE GARAGE FACE IS PARALLEL TO THE STREET.
- B. GARAGE RESTRICTED TO A MINIMUM 15' FRONT SETBACK WHEN THE GARAGE FACE IS PERPENDICULAR TO THE STREET.
- C. GARAGE MUST BE SETBACK AT LEAST 5' GREATER THAN THE PRINCIPAL STRUCTURE, UNLESS THE GARAGE DOOR IS PERPENDICULAR TO THE STREET.
- D. PORCH MAY ENCROACH A MAXIMUM OF 5' IN THE 15' FRONT YARD SETBACK.
- E. SIDEYARD SETBACKS ARE 0'/10' TYPICAL.
- F. \* DESIGNATED LOTS ARE 5' MINIMUM, 10' BETWEEN STRUCTURES.



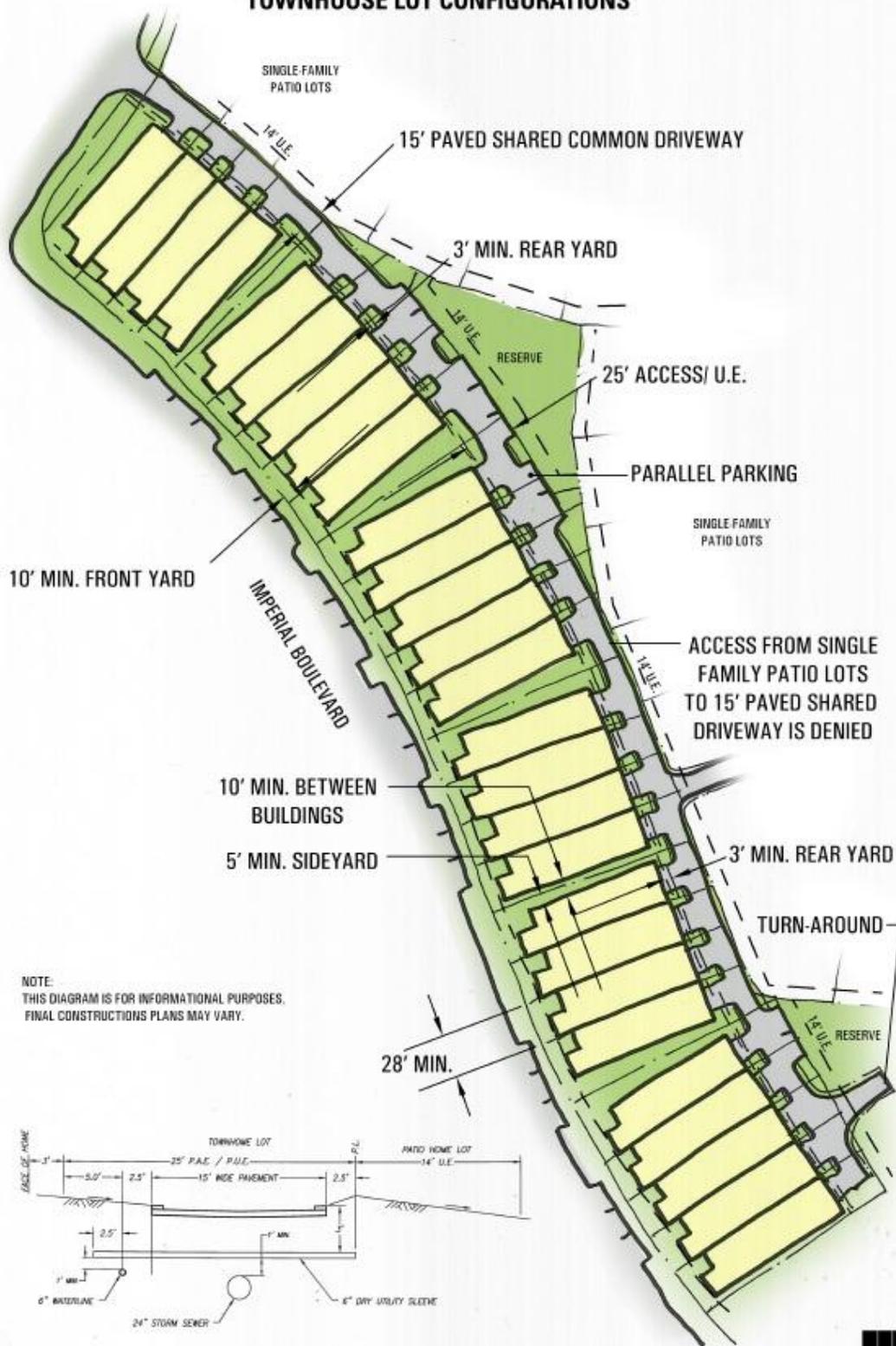
**TOWNHOUSE  
LOT CONFIGURATION  
-- MAX. 85% COVERAGE**



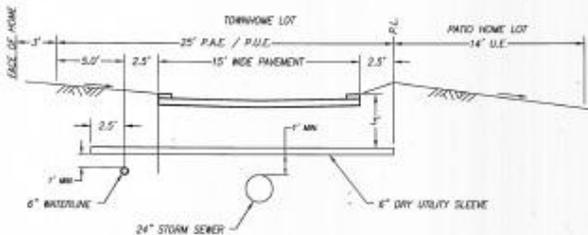
**EXHIBIT B-2: IMPERIAL SINGLE FAMILY RESIDENTIAL**



**EXHIBIT B-2A  
TOWNHOUSE LOT CONFIGURATIONS**



NOTE:  
THIS DIAGRAM IS FOR INFORMATIONAL PURPOSES.  
FINAL CONSTRUCTIONS PLANS MAY VARY.



**EXHIBIT B-2A: IMPERIAL SINGLE FAMILY RESIDENTIAL**

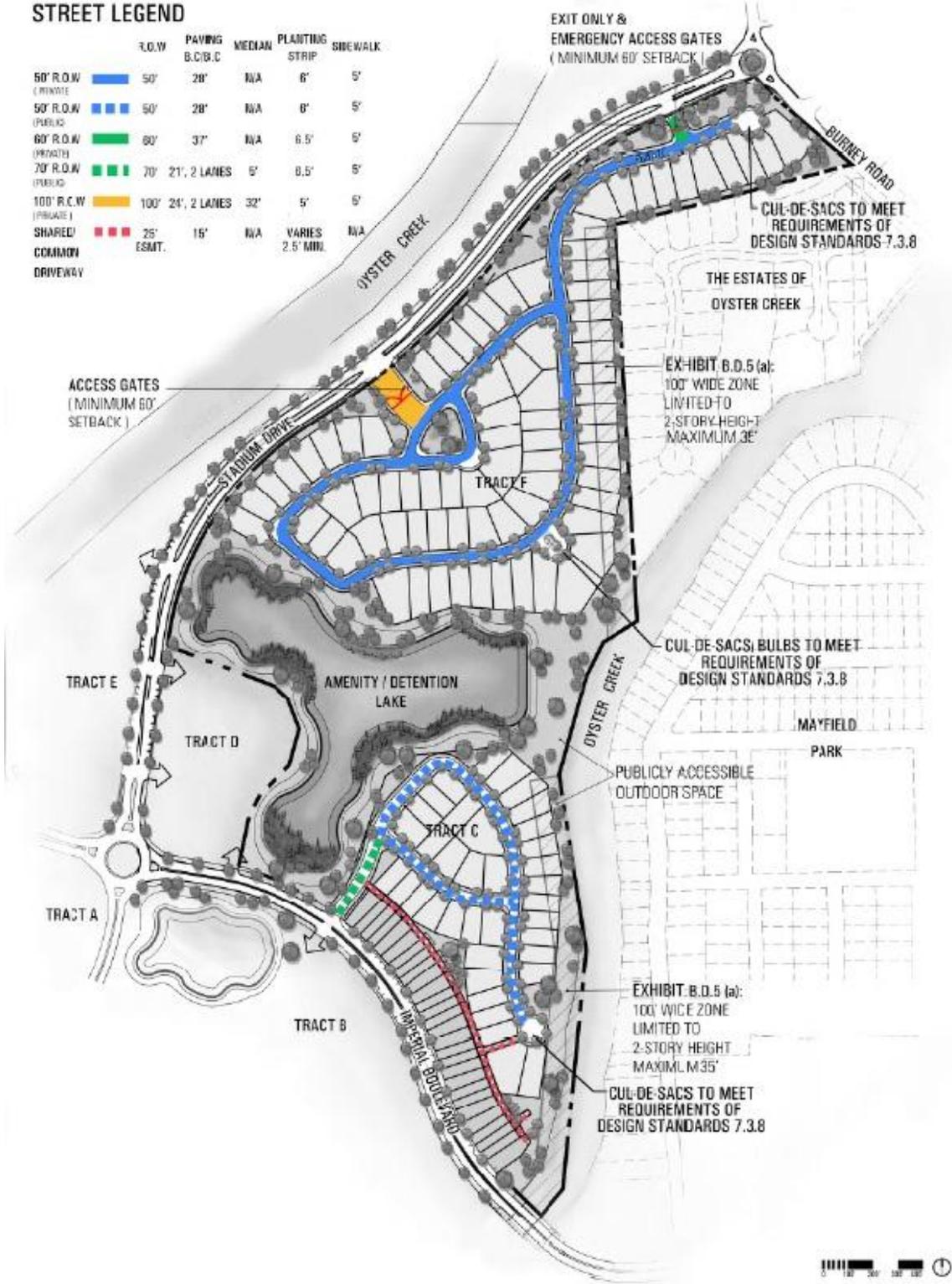


# EXHIBIT B-3: STREET HIERARCHY PLAN

## STREET LEGEND

	R.O.W	PAVING B.C/B.C	MEDIAN	PLANTING STRIP	SIDEWALK
50' R.O.W (PRIVATE)	50'	28'	N/A	6'	5'
50' R.O.W (PUBLIC)	50'	28'	N/A	6'	5'
60' R.O.W (PRIVATE)	60'	37'	N/A	6.5'	5'
70' R.O.W (PUBLIC)	70'	21', 2 LANES	5'	8.5'	5'
100' R.O.W (PRIVATE)	100'	24', 2 LANES	32'	5'	5'
SHARED/ COMMON DRIVEWAY	25' ESMT.	15'	N/A	VARIES 2.5' MIN.	N/A

EXIT ONLY &  
EMERGENCY ACCESS GATES  
( MINIMUM 60' SETBACK )

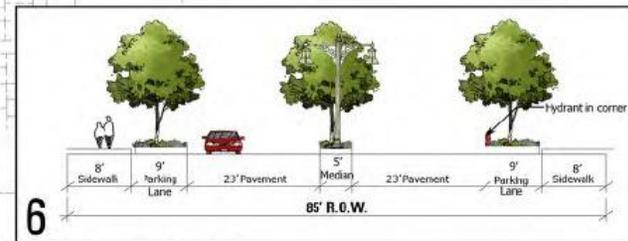
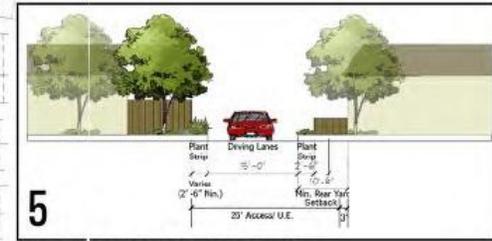
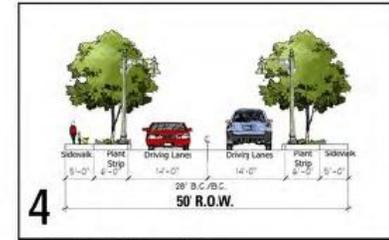
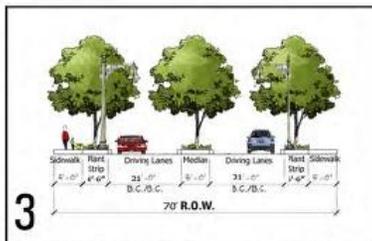
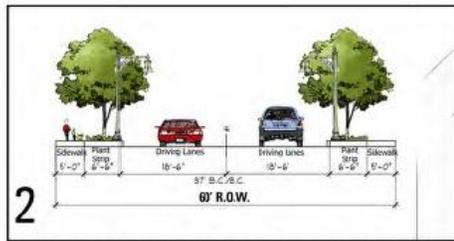
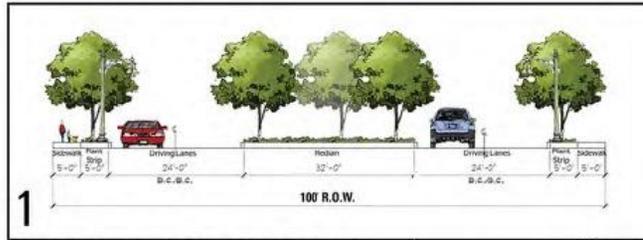


# EXHIBIT B-3: IMPERIAL SINGLE FAMILY RESIDENTIAL



T B G

# EXHIBIT B-4: CROSS SECTION REFERENCE PLAN

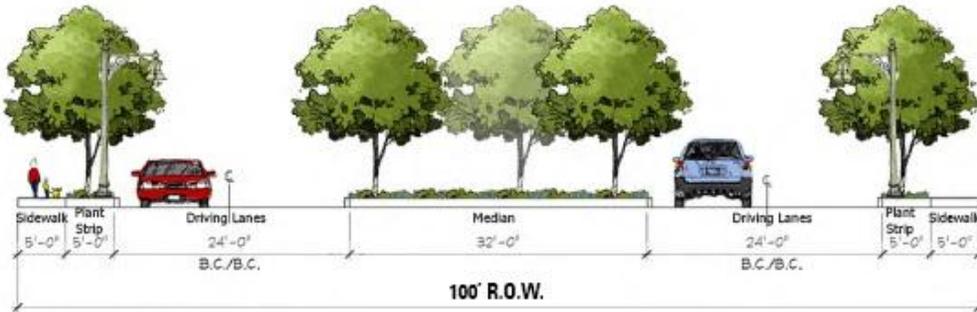


# EXHIBIT B-4: IMPERIAL SINGLE FAMILY RESIDENTIAL

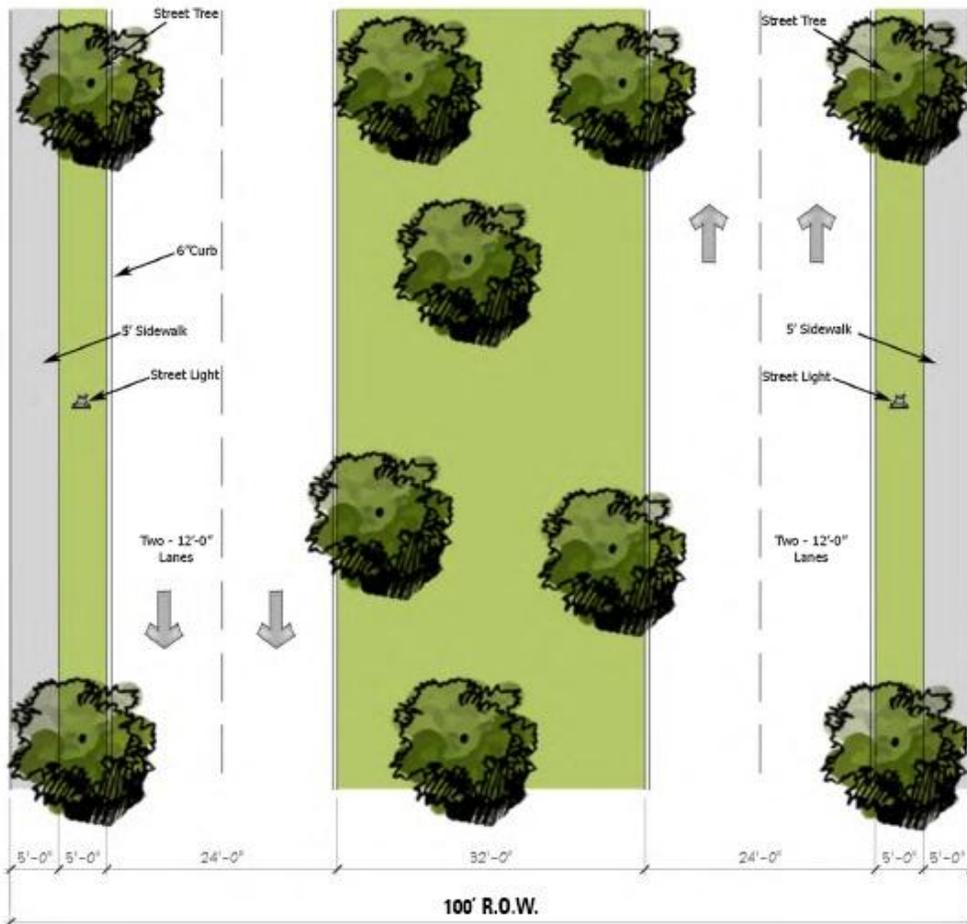


## EXHIBIT B-5 STREET SECTIONS

**Street Section for Primary Entrance on Stadium Drive**

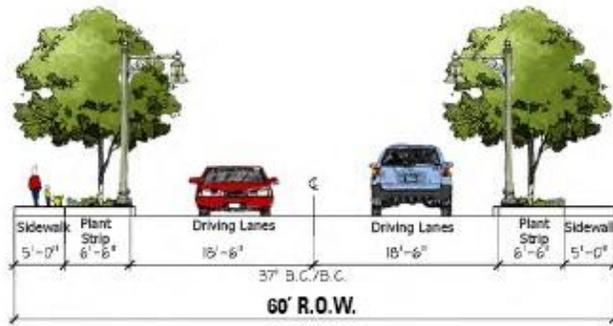


**Street Plan**

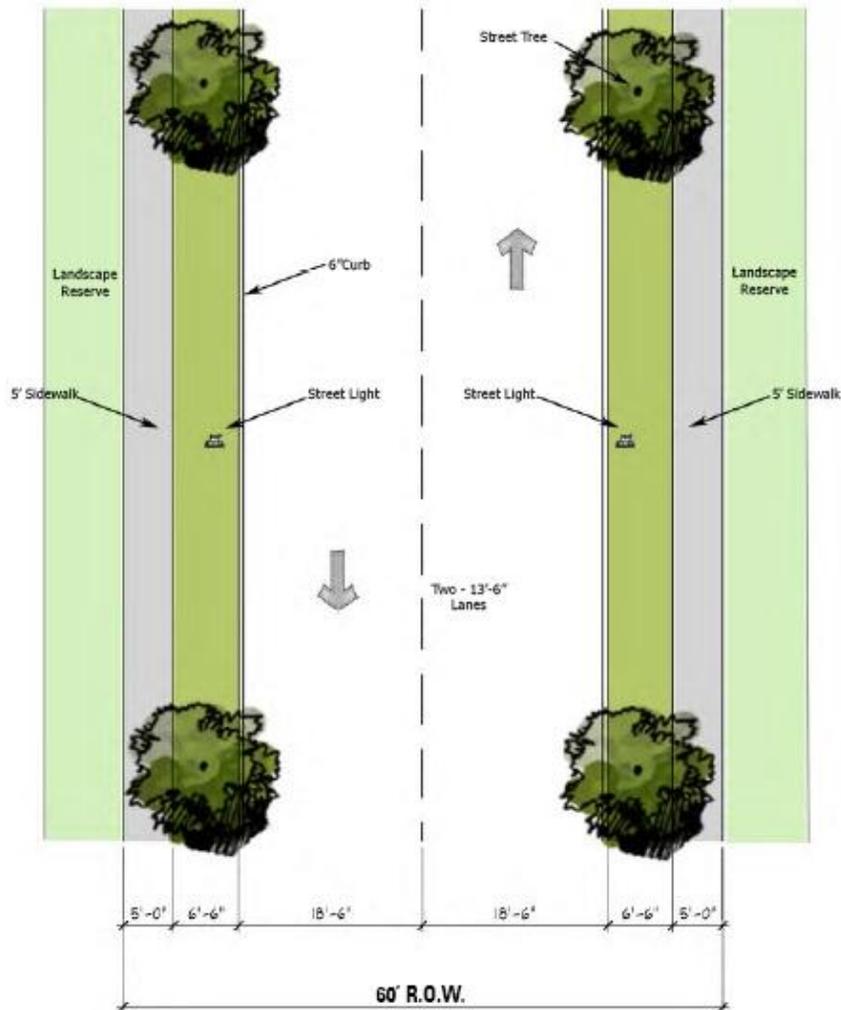


## EXHIBIT B-5 STREET SECTIONS

**Street Section For Secondary Entrance on Stadium Drive**

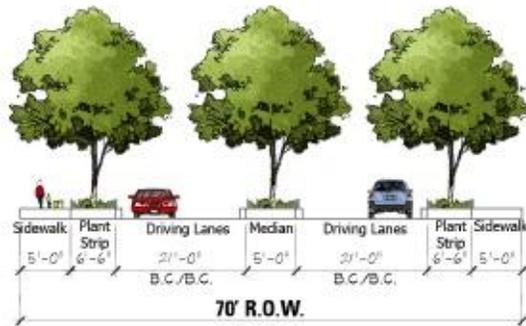


**Street Plan**

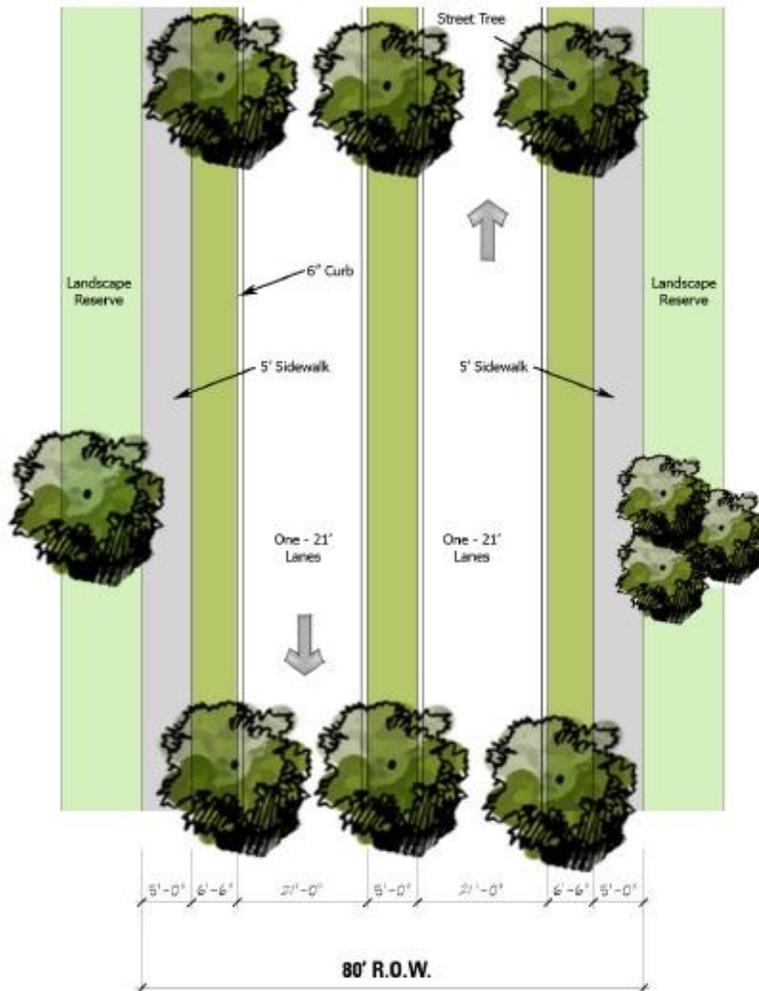


## EXHIBIT B-5 STREET SECTIONS

**Street Section for Entrance on Imperial Boulevard**

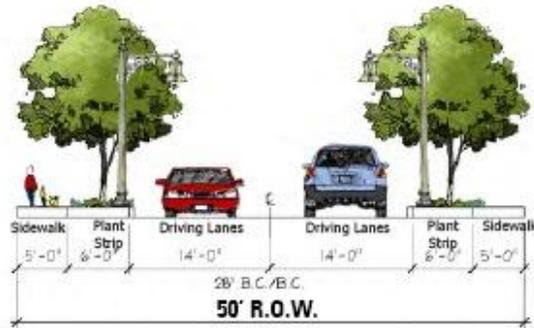


**Street Plan**

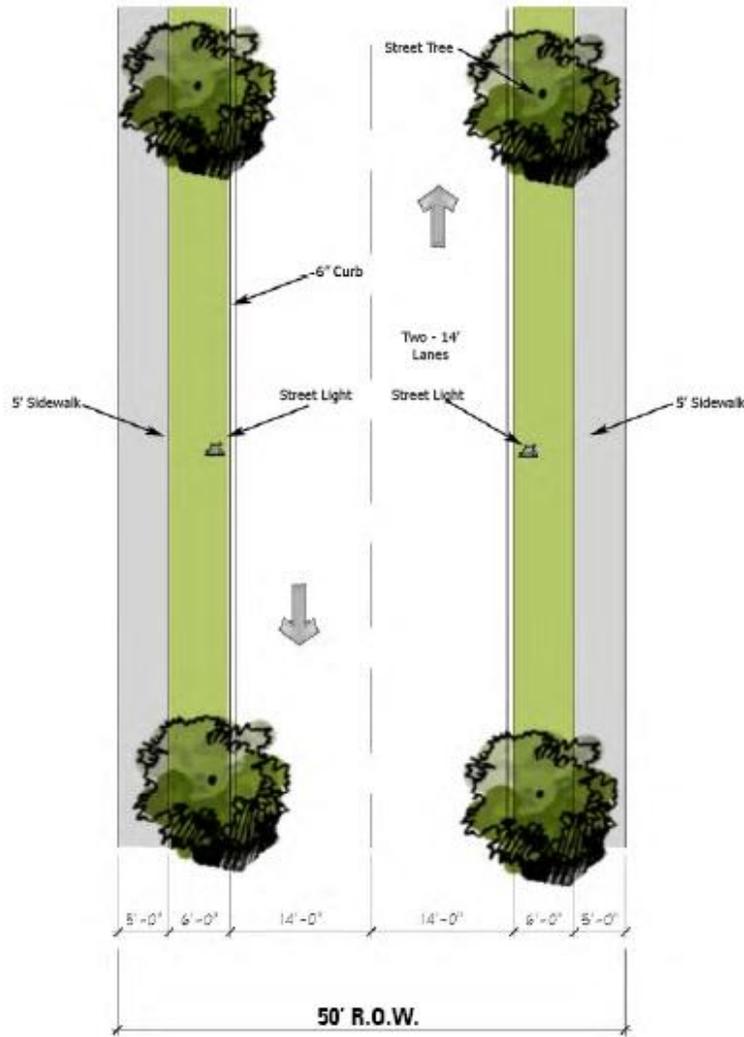


## EXHIBIT B-5 STREET SECTIONS

**Street Section for Internal Street**

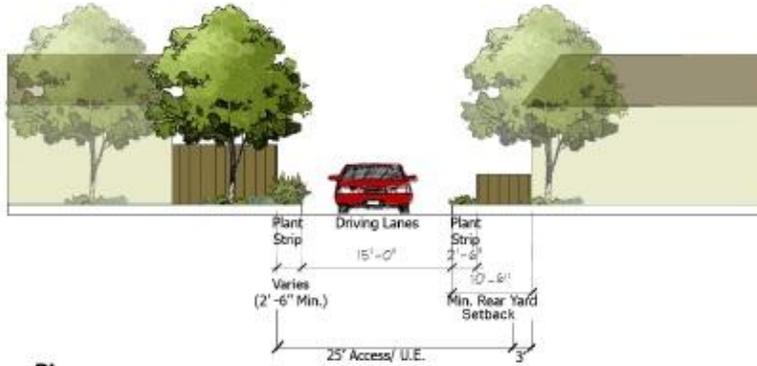


**Street Plan**

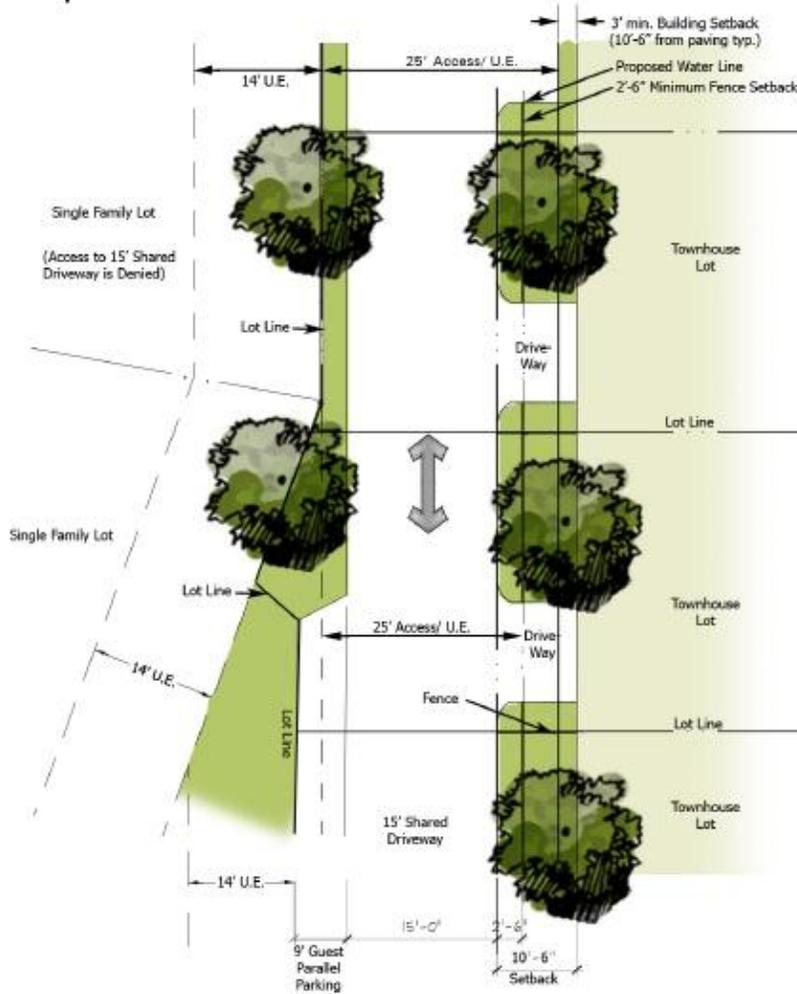


## EXHIBIT B-5 STREET SECTIONS

### Section for Shared / Common Driveway

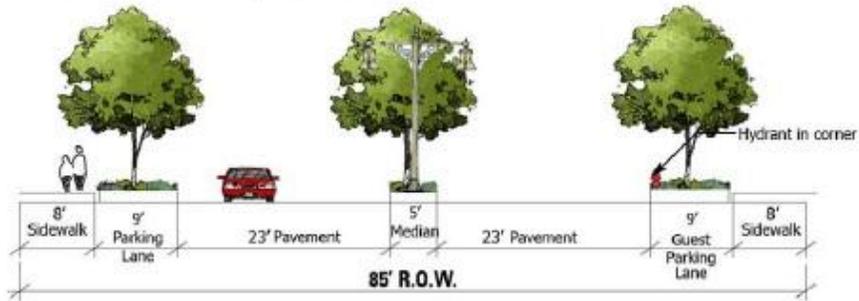


### Driveway Plan

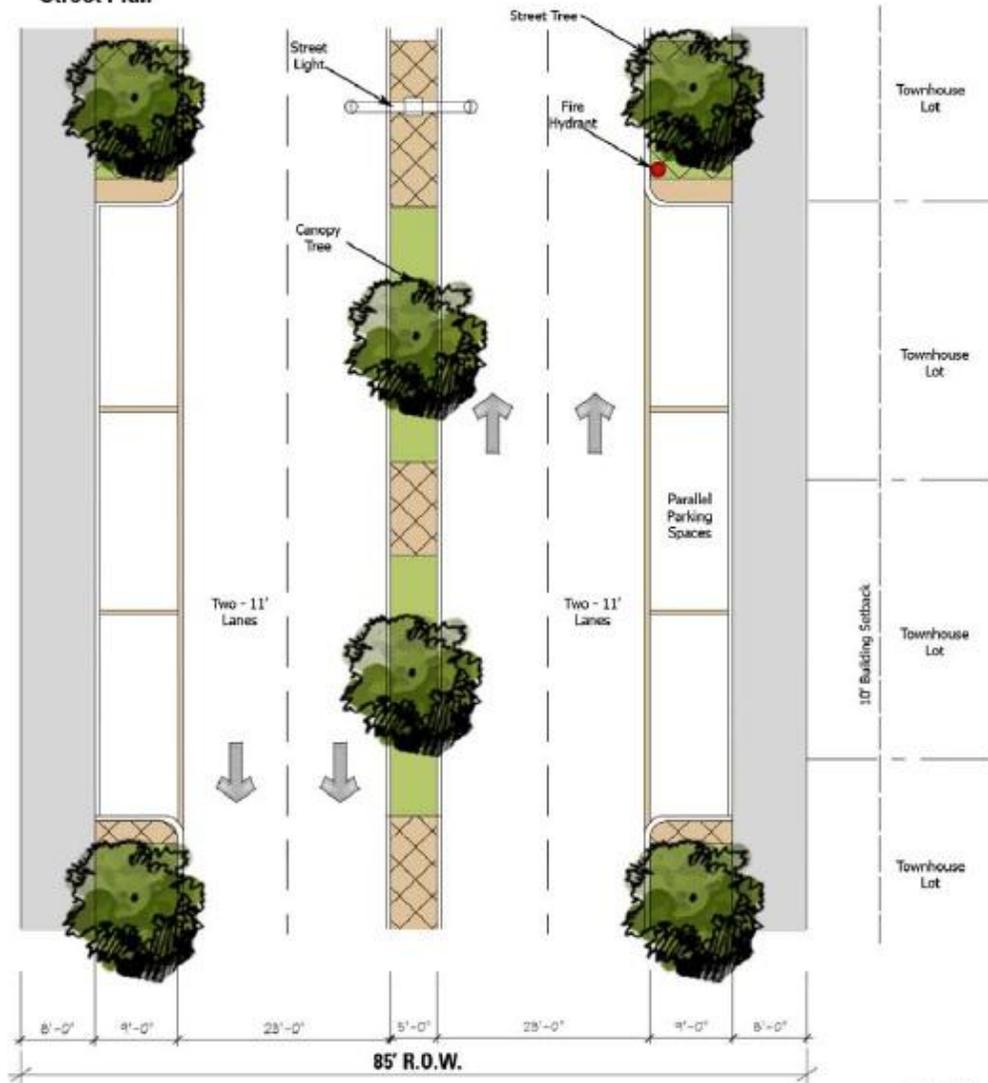


## EXHIBIT B-5 STREET SECTIONS

### Street Section For Imperial Boulevard



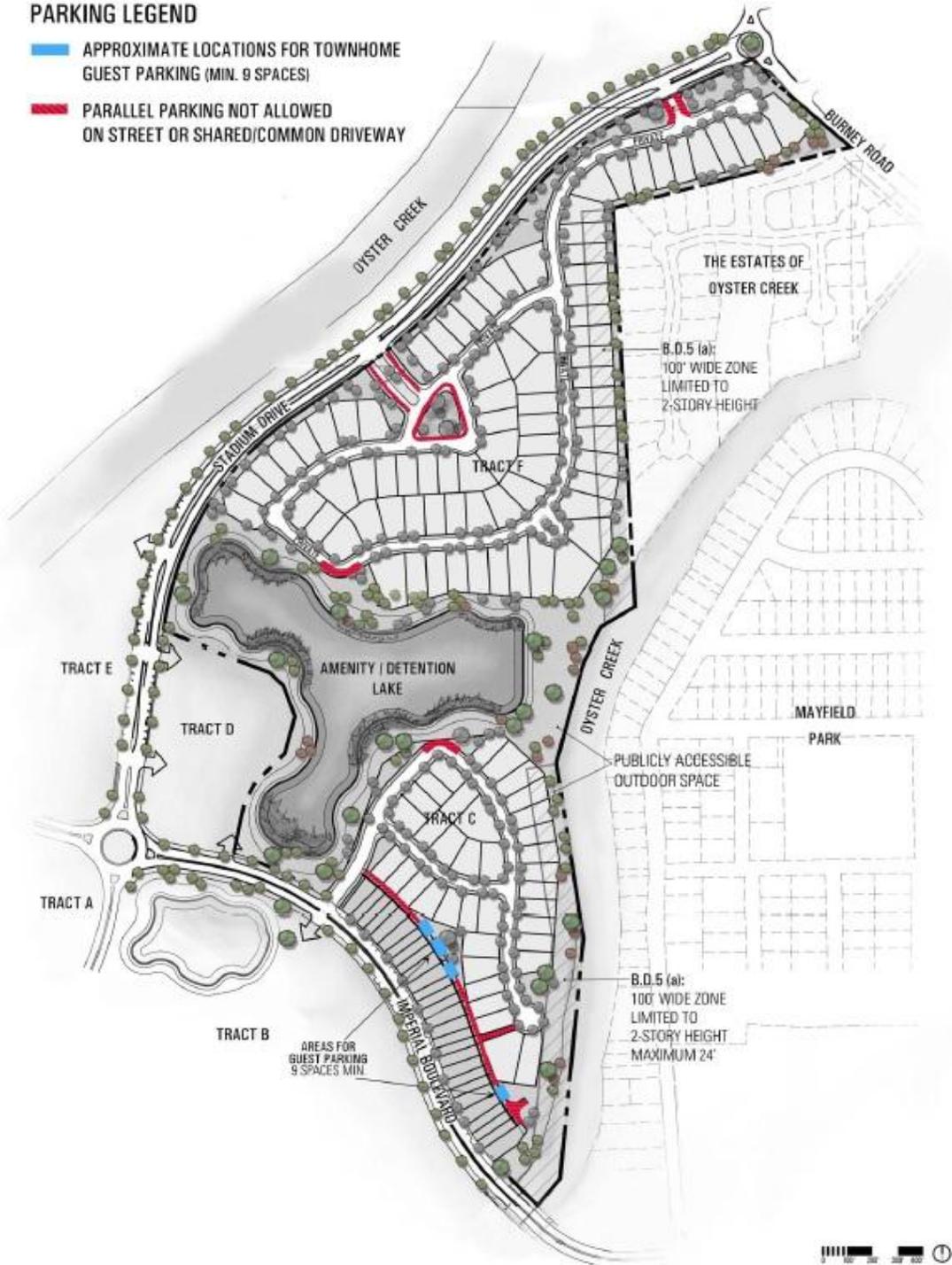
### Street Plan



# EXHIBIT B-6: PARKING PLAN

## PARKING LEGEND

- █ APPROXIMATE LOCATIONS FOR TOWNHOME GUEST PARKING (MIN. 9 SPACES)
- █ PARALLEL PARKING NOT ALLOWED ON STREET OR SHARED/Common DRIVEWAY



# IMPERIAL SINGLE FAMILY RESIDENTIAL



# EXHIBIT B-7: LANDSCAPE, OPEN SPACE & TRAIL PLAN

## LEGEND

-  PROPOSED OPEN SPACE - +/- 1,114,000 S.F.
-  PROPOSED 5' SIDEWALK
-  PROPOSED 5' LAKESIDE TRAIL
-  PROPOSED 5' SIDEWALK
-  PROPOSED 8' SIDEWALK
-  PROPOSED 10' SIDEPATH
-  FUTURE LAKESIDE TRAIL
-  FUTURE SIDEWALK
-  FUTURE TRAIL



## NOTES:

1. "Proposed" sidewalks and trails will be constructed with this P.D.
2. "Future" sidewalks and trails will be included with future development.

## PROPOSED OPEN SPACE:

- MINIMUM 15% REQUIRED IN BALLPARK DISTRICT
- +/- 1,114,000 S.F. PROVIDED IN TRACTS C & F (40%)
- INCLUDING TRACT D (37%)

# EXHIBIT B-7: IMPERIAL SINGLE FAMILY RESIDENTIAL



## Exhibit B-8

### Plant List for Ballpark Single Family at Imperial

The following is a list of approved trees and shrubs. Alternative plants not specified in this list may be approved by the Director if determined that an alternative is substantially equal to or better than a specified material and the use will not violate any provision of the PD:

#### Shade Trees:

Pecan	<i>Carya illinoensis</i>
Fringe Tree	<i>Chionanthus virginicus</i>
Japanese Blueberry	<i>Elaeocarpus decipiens</i>
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>
Savannah Holly	<i>Ilex attenuate 'Savannah'</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Date Palm	<i>Phoenix dactylifera 'Medjool' or 'Zahidi'</i>
Loblolly Pine	<i>Pinus taeda</i>
Texas Pistache	<i>Pistacia texana</i>
Sycamore	<i>Platanus occidentalis'</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinkapin Oak	<i>Quercus muehlenbergii</i>
Monterey Oak	<i>Quercus polymorpha</i>
Water Oak	<i>Quercus nigra</i>
Live Oak	<i>Quercus virginiana</i>
Shumard Oak	<i>Quercus shumardii</i>
Bald Cypress	<i>Taxodium distichum</i>
Pond Cypress	<i>Taxodium ascendens</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Bosque or Drake Elm	<i>Ulmus parvifolia 'Bosque' or 'Drake'</i>
California Fan Palm	<i>Washingtonia filifera</i>
Mexican Fan Palm	<i>Washingtonia robusta</i>

#### Small & Ornamental Trees:

Texas Redbud	<i>Cercis canadensis 'var. texensis'</i>
European Fan Palm	<i>Chamaerops humilis</i>
Desert Willow	<i>Chilopsis linearis</i>
Smokebush	<i>Cotinus obovatus</i>
Loquat	<i>Eryobotrya japonica</i>
Foster Holly	<i>Ilex x attenuata 'Fosterii'</i>
Possumhaw Holly	<i>Ilex decidua</i>
Yaupon Holly	<i>Ilex vomitoria</i>
Columnar Juniper	<i>Juniporus spp.</i>
Crape Myrtle	<i>Lagerstroemia indica 'Basham's Pink', 'Natchez', 'Muskogee'</i>
Little Gem Magnolia	<i>Magnolia grandiflora 'Little Gem'</i>
Treeform (MT) Ligustrum	<i>Ligustrum japonicum</i>
Saucer Magnolia	<i>Magnolia x soulangeana</i>
Sweetbay Magnolia	<i>Magnolia virginiana</i>
Tree Wax Myrtle	<i>Myrica cerifca</i>
Mexican Plum	<i>Prunus mexicana</i>
Texas Sable Palm	<i>Sabal texana</i>
Texas Mountain Laurel	<i>Sophora secundiflora</i>

Windmill Palm  
Chaste Tree

*Trachycarpus fortunei*  
*Vitex agnus-castus*

**Shrubs:**

Abelia  
Dwarf Bottlebrush

*Abelia x grandiflora* 'Prostrata', 'Sherwoodi', Edward Goucher'  
*Callistemon citrinus* 'Austraflora', 'Firebrand', 'Little John',  
and 'Splendens'

Japanese Cleyera  
Sago Palm  
Umbrella Plant  
African/Butterfly Iris  
Elaeagnus Ebbingei  
Silverberry  
Pineapple Guava  
Red Yucca  
Barbados Cherry

*Ternstroemia gymnathera*  
*Cycas revoluta*  
*Cyperus alternifolius*  
*Dietes iridioides*, *Dietes bicolor*  
*Elaeagnus macrophylla*  
*Elaeagnus fruilandi*  
*Feijoa sellowiana*  
*Hesperaloe parviflora*  
*Malpighia Glabra*  
*Fatsia japonica*

Fatsia  
Dwarf Burford Holly  
Chinese Holly  
Dwarf Yaupon

*Ilex cornuta* 'Burfordii Nana'  
*Ilex cornuta* 'Rotunda'  
*Ilex vomitoria* 'Nana'

Louisiana Iris  
Dwarf Crape Myrtle  
Ligustrum  
Waxleaf Glossy Privet

*Iris louisiana*  
*Lagerstroemia indica* 'Nana'  
*Ligustrum japonicum*  
*Ligustrum lucidum*  
*Loropetalum chinense*  
*Miscanthus sinensis* var.

Maiden Grass  
Dwarf Wax Myrtle

*Myrica pusilla*  
*Nandina domestica*

Nandina  
Purple Fountain Grass

*Pennisetum setaceum*  
*Raphiolepis indica* 'Clara'

Indian Hawthorn  
Shrub Rose  
Society Garlic

*Rosa* spp. 'Knockout', 'The Fairy', 'Bonica', 'Carefree Wonder'  
*Tulbaghia violacea*  
*Viburnum* spp.

Sweet Viburnum  
Bridal Wreath Spirea

*Spirea prunifolia*  
*Nerium oleander*

Oleander  
Dwarf Oleander

*Nerium oleander* 'Petite Pink', 'Little Red'  
*Plumbago auriculata*

Plumbago  
Dwarf Pomegranate

*Punica granatum* 'Nana'  
*Fortunella* spp.

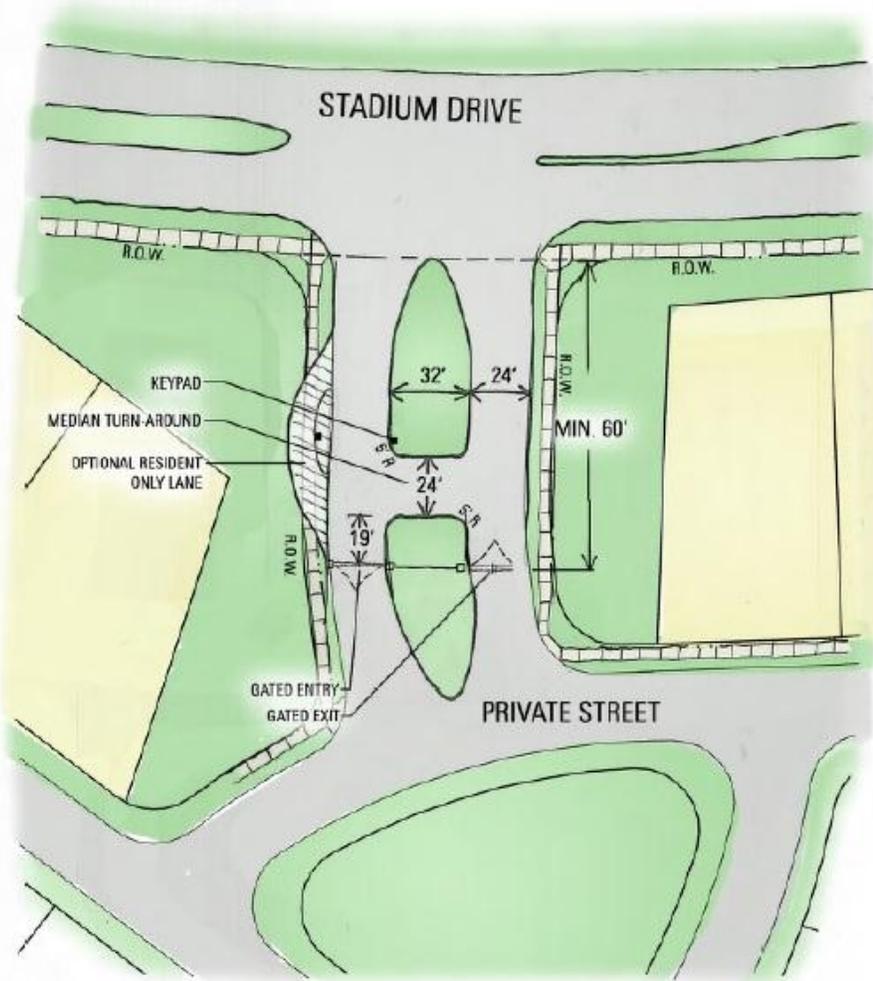
Kumquat  
Muhly Grass

*Meuhlenbergia lindheimeri*

Dwarf Maiden Grass

*Miscanthus sinensis* 'Morning Light'

EXHIBIT B-9: GATED ENTRY CONFIGURATION AT STADIUM DRIVE



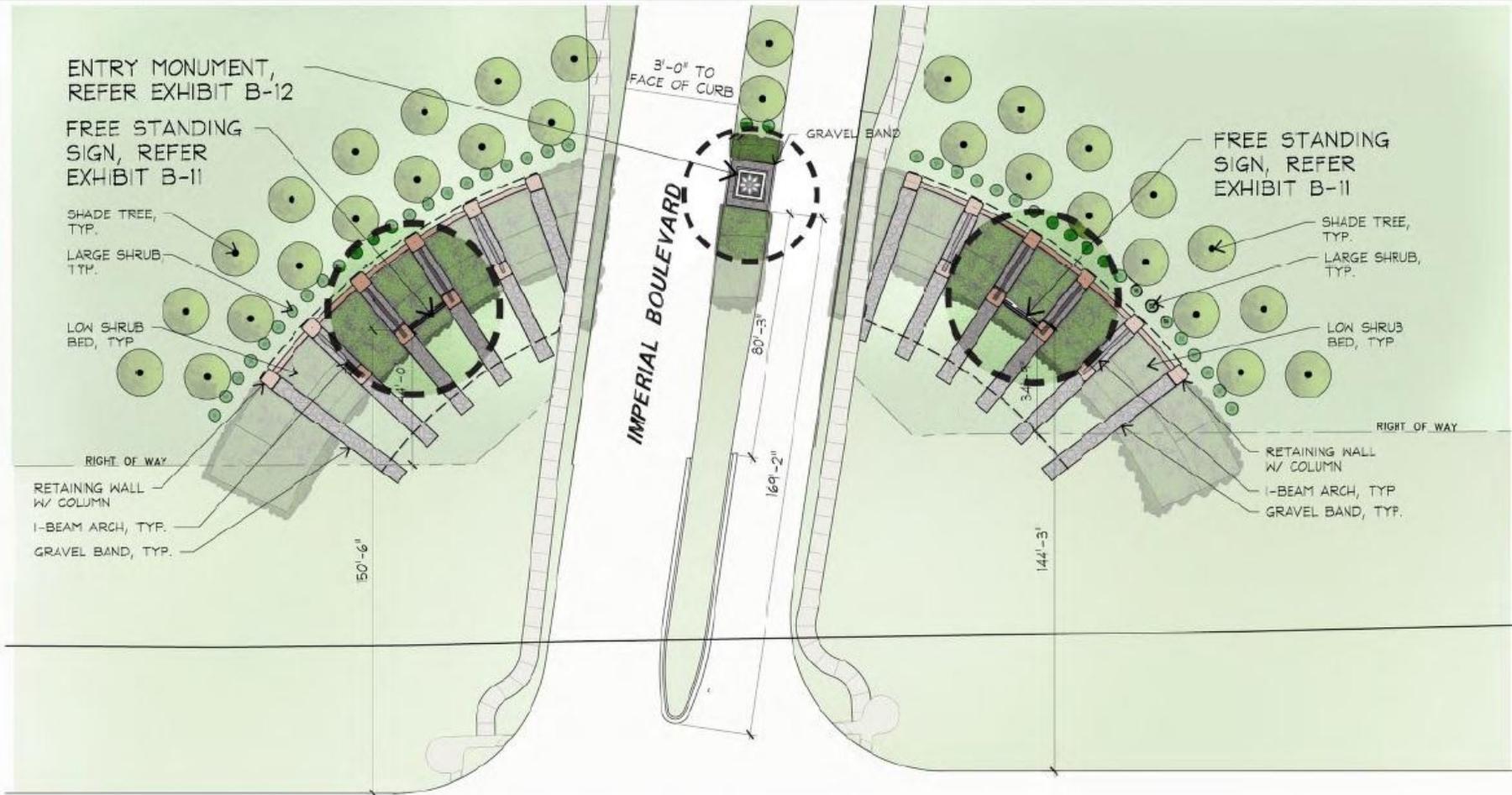
DISCLAIMER  
THIS DRAWING IS INTENDED TO ILLUSTRATIVE DESIGN COMPONENTS  
AND THE BASIC FRAMEWORK FORMING THE MINIMUM DESIGN  
CONFORMANCE. THE DRAWING IS AN ARTIST'S REPRESENTATION AND  
IS SUBJECT TO CHANGE.



EXHIBIT B-9: IMPERIAL SINGLE FAMILY RESIDENTIAL

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# EXHIBIT B-10: ENTRY LANDSCAPE SITEWORK PLAN AT S.H. 6



STATE HWY 6

NORTH BOUND

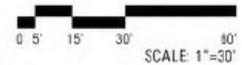
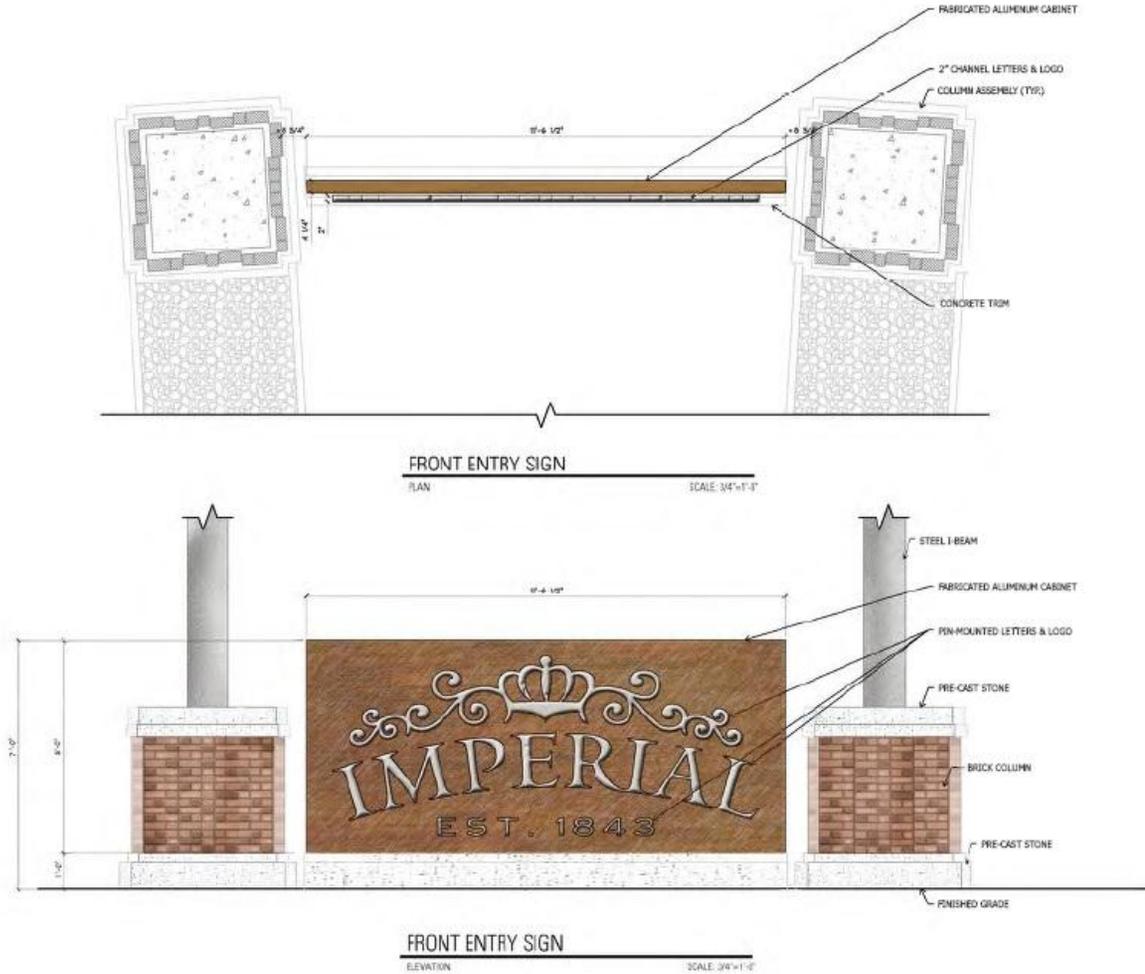


EXHIBIT B-10: IMPERIAL SINGLE FAMILY RESIDENTIAL

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EXHIBIT B-10

**EXHIBIT B-11: ENTRY SIGN PLAN AT S.H. 6**

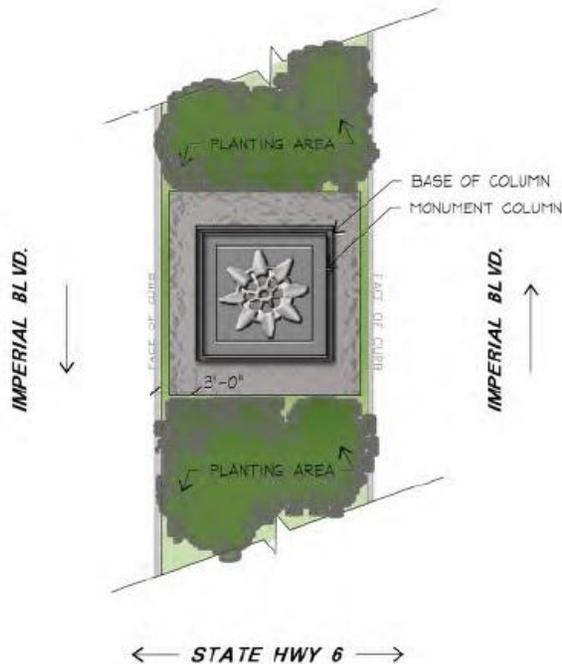


**EXHIBIT B-11: IMPERIAL SINGLE FAMILY RESIDENTIAL**



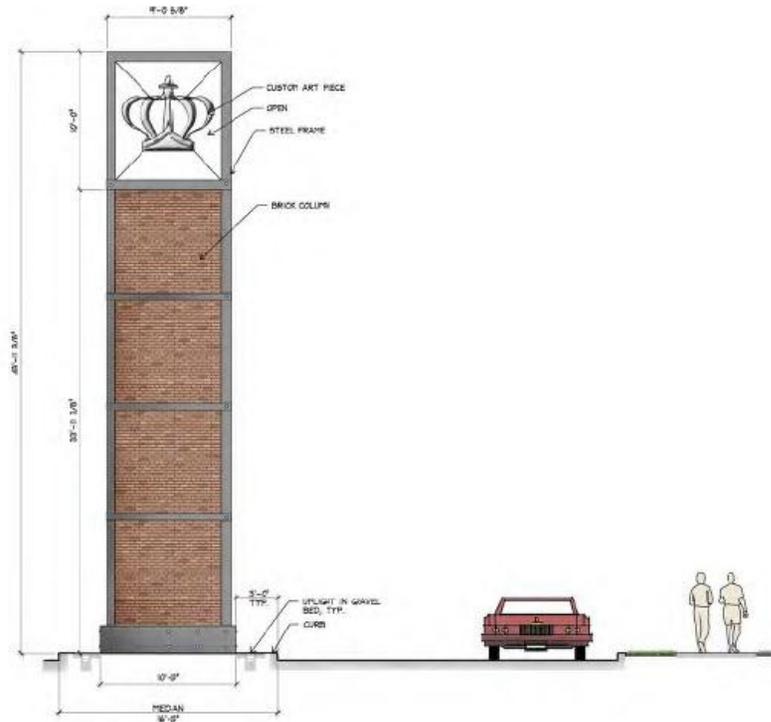
**EXHIBIT B-11**

**EXHIBIT B-12: ENTRY MONUMENT AT S.H. 6**



**2 TOWER MONUMENT**  
PLAN

SCALE: 1/8"=1'-0"



**1 TOWER MONUMENT**  
ELEVATION

SCALE: 1/8"=1'-0"

**EXHIBIT B-12: IMPERIAL SINGLE FAMILY RESIDENTIAL**



**EXHIBIT B-12**