

ORDINANCE NO. 1886

AN ORDINANCE OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING FROM PLANNED DEVELOPMENT (PD) DISTRICT-GENERAL DEVELOPMENT PLAN, TO PLANNED DEVELOPMENT (PD) DISTRICT-FINAL DEVELOPMENT PLAN, FOR APPROXIMATELY 18.182 ACRES OF LAND WITHIN THE IMPERIAL DEVELOPMENT, FOR THE IMPERIAL BALLPARK LOFTS PHASE I.

WHEREAS, Johnson Development has requested that approximately 18.182 acres within the Imperial Ballpark Development be rezoned from Planned Development (PD) District-General Development Plan to Planned Development (PD) District-Final Development Plan, the final phase of a Planned Development District, for the Ballpark Lofts Phase I; and

WHEREAS, the City of Sugar Land Planning and Zoning Commission forwarded its final report to City Council, recommending approval of the rezoning request, with modifications; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS, the City Planning and Zoning Commission's recommended modifications have been incorporated and made a part of this ordinance; and

WHEREAS, the City Council finds that the zoning request complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; NOW, THEREFORE:

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

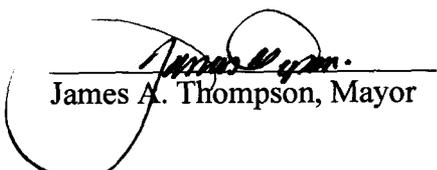
Section 1. That the facts and recitations set forth in the preamble of this ordinance are hereby declared to be true and correct.

Section 2. That the zoning district classification of approximately 18.182 acres of land described in Exhibit A, attached to and incorporated into this ordinance by reference, is changed from Planned Development (PD) District-General Development Plan to Planned Development (PD) District-Final Development Plan under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

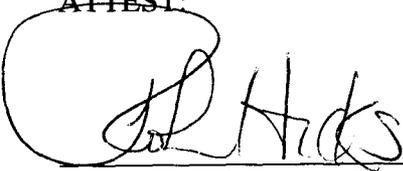
Section 3. That the City's official zoning map be amended to reflect this change in zoning district classification.

READ IN FULL on first consideration on January 15, 2013.

APPROVED upon second consideration on February 05, 2013.


James A. Thompson, Mayor

ATTEST:


Glenda Gundermann, City Secretary

Reviewed for Legal Compliance:



Attachments: Exhibit A: Metes and Bounds Description
Exhibit B: Final Development Plan
Exhibit B-1: General Site Layout Plan
Exhibit B-2: Final Site Layout Plan
Exhibit B-3: Plaza Details
Exhibit B-4: Plant List
Exhibit B-5: Pedestrian Circulation Plan
Exhibit B-6: Building Elevations along Stadium Drive
Exhibit B-7: Building Elevations along Oyster Creek
Exhibit B-8: Garage and Carport Elevations
Exhibit B-9: Offsite Public Access Easement

Exhibit A: Metes & Bounds Description

Exhibit ____ Page 1 of 4 Pages

County: Fort Bend
Project: Imperial – MF
Job No. 063701
MB No. 12-083

FIELD NOTES FOR 18.182 ACRES

Being a tract containing 18.182 acres of land located in the Alexander Hodge League, Abstract number 32, in Fort Bend County, Texas; Said 18.182 acre tract being a portion of a call 497.696 acre tract of land, styled Tract "F", recorded in the name of Cherokee Sugar Land, L.P., in Fort Bend County Clerk's File (F.B.C.C.F.) number 2011006653 and a portion of a call 60.770 acre tract of land, styled Tract "B", recorded in the name of The State of Texas in F.B.C.C.F. number 2011006652; Said 18.182 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

Commencing at a 5/8-inch iron rod found at the southwesterly corner of said Tract "F" and on the easterly Right-of-Way (R.O.W.) line of State Highway 6 (width varies);

Thence, with the southerly line of said Tract "F", the following three (3) courses:

1. South 84 degrees 12 minutes 58 seconds East, a distance of 22.23 feet to a found 5/8-inch iron rod;
2. South 84 degrees 39 minutes 17 seconds East, a distance of 424.31 feet to a found 5/8-inch iron rod;
3. 251.36 feet along the arc of a curve to the left, said curve having a central angle of 14 degrees 30 minutes 58 seconds, a radius of 992.14 feet and a chord which bears North 87 degrees 57 minutes 38 seconds East, a distance of 250.69 feet to a 5/8-inch iron rod found at the southwesterly corner of aforesaid Tract "B";

Thence, with the southerly line of said tract "B", the following three (3) courses:

1. North 80 degrees 42 minutes 09 seconds East, a distance of 444.33 feet to a 5/8-inch iron rod found;
2. North 02 degrees 29 minutes 02 seconds West, a distance of 55.36 feet to a point in Oyster Creek;
3. North 60 degrees 00 minutes 55 seconds East, a distance of 91.69 feet to the **Point of Beginning** of the tract herein described;

Thence, through and across said Tract "B" and aforesaid Tract "F", the following sixteen (16) courses:

1. North 04 degrees 20 minutes 43 seconds West, a distance of 180.63 feet;
2. North 04 degrees 06 minutes 36 seconds West, a distance of 85.16 feet;
3. 678.76 feet along the arc of a curve to the right, said curve having a central angle of 48 degrees 00 minutes 45 seconds, a radius of 810.00 feet, and a chord which bears North 19 degrees 53 minutes 46 seconds East, a distance of 659.08 feet;
4. North 43 degrees 54 minutes 09 seconds East, a distance of 100.00 feet;
5. 74.49 feet along the arc of a curve to the left, said curve having a central angle of 04 degrees 47 minutes 43 seconds, a radius of 890.00 feet and a chord that bears North 41 degrees 30 minutes 18 seconds East, a distance of 74.46 feet;
6. South 65 degrees 55 minutes 23 seconds East, a distance of 353.51 feet;
7. South 89 degrees 24 minutes 24 seconds East, a distance of 113.67 feet;
8. North 00 degrees 47 minutes 39 seconds East, a distance of 30.00 feet;
9. South 89 degrees 24 minutes 24 seconds East, a distance of 54.07 feet;
10. South 00 degrees 53 minutes 54 seconds West, a distance of 370.05 feet;
11. North 89 degrees 15 minutes 00 seconds East, a distance of 74.25 feet;
12. South 77 degrees 24 minutes 02 seconds East, a distance of 129.93 feet;
13. North 89 degrees 15 minutes 00 seconds East, a distance of 546.49 feet;
14. North 55 degrees 24 minutes 49 seconds East, a distance of 85.43 feet;
15. 56.95 feet along the arc of a curve to the left, said curve having a central angle of 03 degrees 33 minutes 44 seconds, a radius of 916.02 feet, and a chord which bears South 43 degrees 44 minutes 47 seconds East, a distance of 56.94 feet;
16. South 45 degrees 34 minutes 51 seconds East, a distance of 134.73 feet to the aforesaid southerly line of Tract "B" and said Oyster Creek;

Thence, with the said southerly line of Tract "B" and said Oyster Creek, the following five (5) courses:

1. South 40 degrees 02 minutes 09 seconds West, a distance of 112.75 feet;
2. South 75 degrees 45 minutes 58 seconds West, a distance of 357.00 feet;

3. North 88 degrees 59 minutes 02 seconds West, a distance of 775.00 feet;
4. South 72 degrees 30 minutes 58 seconds West, a distance of 275.00 feet;
5. South 60 degrees 00 minutes 58 seconds West, a distance of 353.22 feet to the **Point of Beginning** an containing 18.182 acres of land.

GBI PARTNERS, L.P.
Phn: 713.995.1306
June 22, 2012

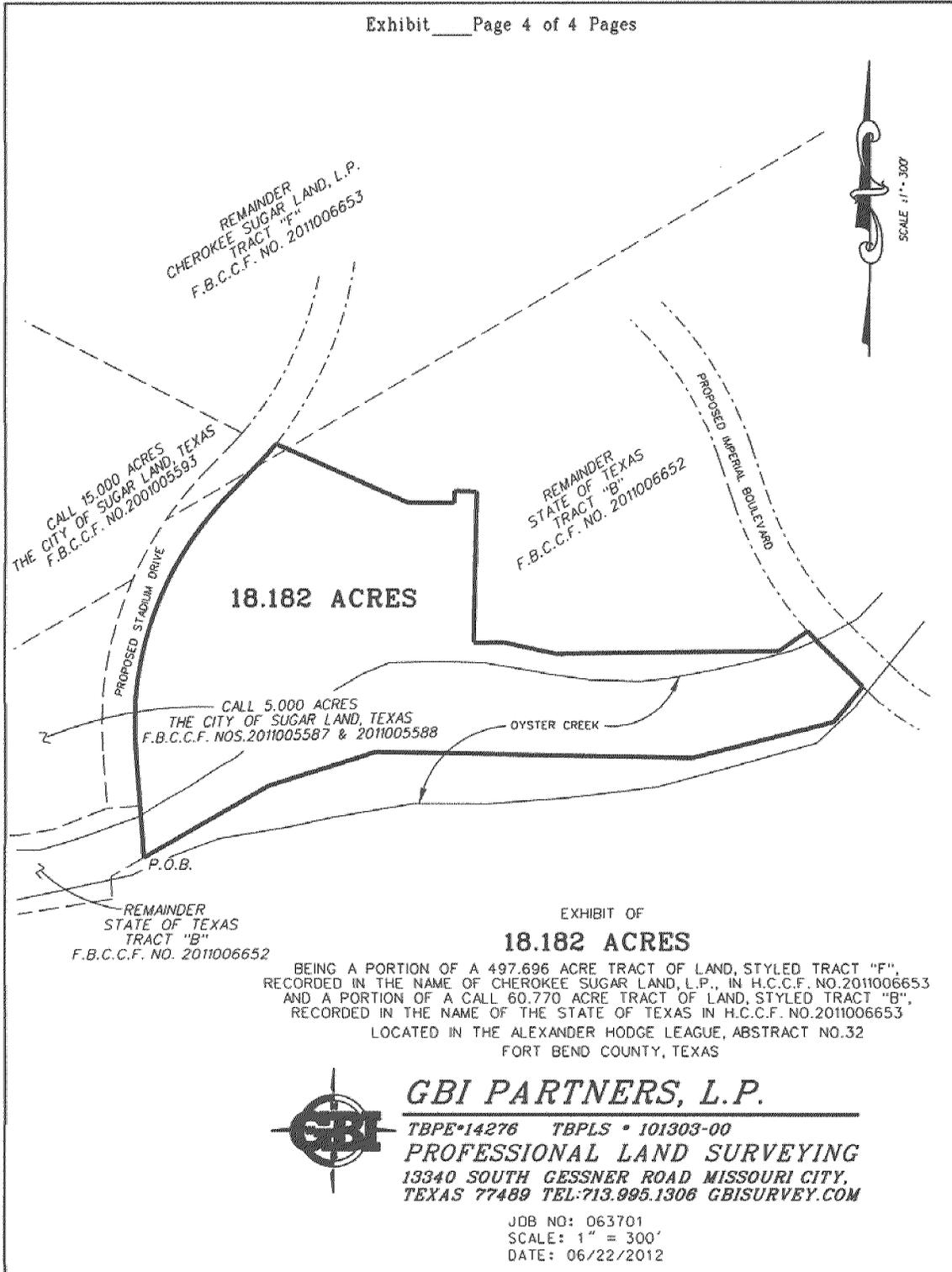


EXHIBIT OF
18.182 ACRES

BEING A PORTION OF A 497.696 ACRE TRACT OF LAND, STYLED TRACT "F",
RECORDED IN THE NAME OF CHEROKEE SUGAR LAND, L.P., IN H.C.C.F. NO. 2011006653
AND A PORTION OF A CALL 60.770 ACRE TRACT OF LAND, STYLED TRACT "B",
RECORDED IN THE NAME OF THE STATE OF TEXAS IN H.C.C.F. NO. 2011006653
LOCATED IN THE ALEXANDER HODGE LEAGUE, ABSTRACT NO. 32
FORT BEND COUNTY, TEXAS



GBI PARTNERS, L.P.

TBPE*14276 TBPLS * 101303-00
PROFESSIONAL LAND SURVEYING
13340 SOUTH GESSNER ROAD MISSOURI CITY,
TEXAS 77489 TEL: 713.995.1306 GBISURVEY.COM

JDB NO: 063701
SCALE: 1" = 300'
DATE: 06/22/2012

EXHIBIT B
FINAL DEVELOPMENT PLAN
Imperial Ballpark Lofts– Phase I

A. Contents. This general development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations for Multi-Family
- Landscape and Pedestrian Circulation Regulations
- Building Regulations

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-2 (General Business) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-2 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this Final Development Plan have the meaning established by the Development Code. In this ordinance:

Ballpark District means the Ballpark District as shown on the General Development Plan for Imperial.

General Development Plan means the General Development Plan for Imperial, as established by City of Sugar Land Ordinance No. 1852.

Historic District means the Historic District 1 as shown on the General Development Plan for Imperial.

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Exhibit B-1:	<i>General Site Layout Plan</i>
Exhibit B-2:	<i>Final Site Layout Plan</i>
Exhibit B-3:	<i>Plaza Details</i>
Exhibit B-4:	<i>Plant List</i>
Exhibit B-5:	<i>Pedestrian Circulation Plan</i>

- Exhibit B-6: *Building Elevations along Stadium Drive*
- Exhibit B-7: *Building Elevations along Oyster Creek*
- Exhibit B-8: *Garage and Carport Elevations*
- Exhibit B-9: *Offsite Public Access Easement*

4. The PD encompasses 18.182 acres east of Stadium Drive, south of Imperial Boulevard, and north of Oyster Creek, within the Ballpark District, Tract B, as shown on Exhibit B-1, *General Site Layout Plan*.

C. Land Uses.

1. Permitted land uses are listed below. All other land uses are prohibited in the PD.

<u>Use</u>	<u>SIC Code</u>
Dwellings – Multi-Family	99 (Non-Classifiable)
Parks and Recreational Facilities, Public or Private	99 (Non-Classifiable)

2. Multi-family units:

- (a) Number of multi-family units shall be limited to a maximum of 254.
- (b) No unit shall have more than two bedrooms.

D. Development Regulations for Multi-Family – Multi-family use within the PD shall be developed in accordance with the following development regulations:

1. Maximum height of structures:

- (a) 4 stories, and no more than 60 feet, plus a maximum 10 feet for parapet
- (b) Any portion of a building within 277 feet of a residential zoning district shall not extend beyond the bulk plane formed by a property line setback of 2 linear feet per 1 foot in height over 24 feet.

2. Building setbacks:

- (a) 10 foot minimum setback abutting Stadium Drive
- (b) 25 foot maximum setback abutting Stadium Drive from the nearest point of the building to the street right-of-way
- (c) 10 foot minimum setback abutting Oyster Creek greenbelt
- (d) 10 foot minimum setback for side and rear yards
- (e) Awnings and canopies attached to a building may project up to 5 feet into a required building setback if located at least 8 feet above adjoining sidewalks or pedestrian walkways.

3. Minimum distance between buildings shall be 10 feet.

4. Residential buildings 1-5, as shown on Exhibit B-2, *Final Site Layout Plan*, shall be oriented toward Stadium Drive and the Oyster Creek greenbelt.

5. Parking areas:
 - (a) In general, parking shall be centralized within the interior portion of the PD and screened from public view per E.5 herein.
 - (b) A 25-foot minimum setback is required abutting Stadium Drive
 - (c) A 10-foot minimum setback is required abutting Oyster Creek greenbelt and all other property lines.
 - (d) Garages may be located along the periphery of a parking area, but not adjacent to Stadium Drive, as shown on Exhibit B-2, *Final Site Layout Plan*.
6. Paving:
 - (a) All parking lots, driveways, and vehicle use areas must be constructed of concrete.
 - (b) As shown on Exhibit B-2, *Final Site Layout Plan*, interlocking, multicolored pavers will be used within the main vehicular entrance off Stadium Drive and the secondary entrance at the northeast corner of the site. Pavers will be supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
7. Bicycle accommodations, as shown on Exhibit B-2, *Final Site Layout Plan* and Exhibit B-3, *Plaza Details*:
 - (a) Bicycle/pedestrian plazas with optional locations shall be provided per Section E.7 below and Exhibit B-2.
 - (b) Bicycle parking spaces shall be provided within 50 feet of the leasing and management office.
 - (c) Bicycle parking spaces shall include racks, lockers, or other structures intended for parking bicycles with a minimum of 4 spaces in any one parking area.
 - (d) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
 - (e) Interior bicycle parking shall be provided under stairwells in building corridors.
 - (f) Bicycle parking spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
8. Service areas shall be screened from off-site views with wood or masonry walls. Service areas include trash compactors and bins, irrigation controls and backflow preventers, electrical transformers and control boxes, air-conditioning units, and other ground-mounted mechanical equipment. As shown on Exhibit B-2, *Final Site Layout Plan*, the central trash collection area will be located near the secondary entrance and shall be screened with a 6' minimum height brick wall.
9. Signage shall comply with Chapter 4 of the Development Code.
10. Developer shall achieve Bronze level certification utilizing the National Association of Home Builders' *National Green Building Program* as the basis for site design and construction requirements.
11. Secondary vehicular access, outside the limit of the PD as shown on Exhibit B-9, *Offsite Public Access Easement*, shall be established by recorded plat or by separate instrument with or prior to multi-family site platting and shall be in place prior to issuance of a Certificate of Occupancy for a structure within the PD.

12. Resident entrance/exit gates on Stadium Drive shall include two entrance lanes with the gates set back at least 60 feet from the street right-of-way line.

E. Landscape and Pedestrian Circulation Regulations – The PD shall be developed in accordance with the following landscape and pedestrian circulation regulations:

1. Landscape buffers:

- (a) 10-foot minimum buffer, contiguous to lot lines, shall be provided along Stadium Drive, Oyster Creek greenbelt, and all other property lines.
- (b) Required buffer along Stadium Drive and Oyster Creek greenbelt shall include one shade tree for each 30 feet of linear frontage, or portion thereof, measured along the lot line.
- (c) Required buffers along other property lines shall include one shade tree for each 50 feet of linear length.
- (d) Buffer trees may be clustered or spaced linearly; they need not be placed evenly.
- (e) Buffer trees along the Oyster Creek greenbelt may be placed within the greenbelt to shade the shared-use trail.
- (f) Required buffers may include pedestrian walkways, plazas and shared-use trails.
- (g) Required buffer along Stadium Drive may be used for a future transit stop.

2. Minimum 15% open space of lot area, inclusive of landscape buffers.

3. Landscape irrigation shall include drip irrigation in designated areas and water-saving irrigation programmer, in an effort to minimize usage and reduce waste.

4. Shade trees shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted.

5. Parking within the site, adjacent to landscape buffers along Stadium Drive and the Oyster Creek greenbelt, shall have a continuous hedge of a minimum 3-foot height within three years from time of planting to screen the parking lot from the street or greenbelt.

6. Plant species used to satisfy the requirements of the PD shall be those listed on Exhibit B-4, *Plant List*.

7. Bicycle/pedestrian plazas, as shown on Exhibit B-3, *Plaza Details*, and Exhibit B-5, *Pedestrian Circulation Plan*:

- (a) A publicly-accessible outdoor plaza shall be located near the southwest corner of the PD, between the Stadium Drive cul-de-sac and Oyster Creek greenbelt.
- (b) A second publicly-accessible outdoor plaza shall be located either at the Oyster Creek greenbelt intersection with Imperial Boulevard, (Option B) or at the intersection with the future north-south shared-use trail, (Option A) as shown on Exhibit B-2.
- (c) Plazas shall have a minimum size of 500 square feet.
- (d) Plazas shall include a decorative paving pattern.
- (e) Plazas shall include at least 2 benches and 2 shade trees.
- (f) Plazas shall accommodate bicycle use per Section D.7.

8. Pedestrian walkways, as shown on Exhibit B-5, *Pedestrian Circulation Plan*:

- (a) Pedestrian walkways required by this section shall meet the following criteria:

- (i) Minimum 6-foot width;
 - (ii) Readily visible and free of encroachment by parked vehicles;
 - (iii) Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
 - (iv) Predominantly shaded with shade trees at one per 30 linear feet of walkway or building canopies;
 - (v) Lighted with pedestrian-scaled fixtures; and
 - (vi) Marked with “way-finding” signage.
- (b) Pedestrian walkways shall connect building entrances to the Stadium Drive sidewalk and to the adjacent shared-use trails per Section E.9 below.
 - (c) A pedestrian walkway shall connect a building entrance to the nearest parking area.
 - (d) A pedestrian walkway/access corridor, placed perpendicular to the parking rows, shall bisect the entire central parking area and extend to the adjacent tract to the north.
9. Shared-use trails, as shown on Exhibit B-5, *Pedestrian Circulation Plan*:
- (a) In accordance with the City of Sugar Land Hike and Bike Trail Master Plan, a minimum 10-foot wide trail shall be located along Oyster Creek from Imperial Boulevard to the future extension of Stadium Drive south of its existing cul-de-sac.
 - (b) A minimum 8-foot wide trail shall connect the Stadium Drive sidewalk, through the pedestrian plaza per Item 7(a) above, to the Oyster Creek greenbelt trail per Item (a) herein.
 - (c) Trails shall be paved with concrete. Interlocking pavers or other masonry products may be incorporated as accents subject to approval by the Director.
 - (d) Required trails and Stadium Drive sidewalk shall be in place prior to issuance of a Certificate of Building Occupancy for structures within the PD.
 - (e) Trail connections to adjacent future development will be planned and implemented as part of the final development plan for that project.
10. Security fencing, as shown on Exhibit B-2, *Final Site Layout Plan*, shall be wrought iron with brick columns at a maximum spacing of 30 feet. Fence height shall be a minimum of 6 feet.

F. Building Regulations – As shown on Exhibit B-6, *Building Elevations along Stadium Drive*, Exhibit B-7, *Building Elevations along Oyster Creek* and Exhibit B-8, *Garage and Carport Elevations*, buildings within the PD shall be developed in accordance with the following regulations:

1. Buildings shall be designed in accordance with the following criteria:
- (a) Break up the horizontal and vertical building planes through offsets, changes in building materials, colors and textures, or other methods; and
 - (b) Incorporate architectural details that create shade and cast shadows to provide visual relief.
 - (c) Facades greater than 100 feet in length that face Stadium Drive and the Oyster Creek greenbelt shall incorporate offsets having a minimum depth of at least 2 feet, and extending at least 20% of the length of the façade.
 - (d) No uninterrupted length of a street or greenbelt-facing façade shall exceed 100 feet.
 - (e) Interior hallways as shown on Exhibit B-2, *Final Site Layout Plan*.

2. Building façade finishes:
 - (a) Primary Finish means an exterior finish consisting of brick, stone (natural, cast, or cultured-textured), stucco and glass.
 - (b) Secondary Finish means an exterior finish consisting of wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), and fiber cement siding.
 - (c) Primary Finishes shall comprise at least 80% of each facade. The remaining portion of an exterior wall that is not constructed of a Primary Finish must be constructed of a Secondary Finish.
 - (d) No single building finish material shall cover more than 80% of the front of any building.
 - (e) Use of architectural metals is limited to canopies, parapet walls, roof systems, and miscellaneous trim work, and such use shall meet the durability standards of the Development Code.
 - (f) The Director may approve alternative Primary or Secondary Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or Secondary Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.
 - (g) The following building materials shall not be used for a Primary or Secondary Finish:
 - (i) Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic or fiberglass panels.
 - (ii) Unfired or underfired clay, sand, or shale brick.
 - (iii) Smooth or untextured concrete surfaces.
 - (iv) Exterior Insulated Finish Systems (E.I.F.S.)
3. All building and garage facades shall be of complementary architectural design, color and materials.
4. Screening walls, wing walls, columns, and similar building extensions and supports shall be of complementary architectural design, color and materials as the building or structure to which they are attached.
5. Carports shall have a single-column, powder-coated metal support structure with a galvanized metal roof deck, and powder-coated metal trim and fascia.
6. Patios and outdoor balconies:
 - (a) No clothes lines, bedding, personal clothing or cleaning items shall be hung or left on patios and/or balconies at any time.
 - (b) Bicycles, skates, skateboards, surfboards and other personal belongings shall be kept inside the buildings and not stored on the patios and balconies.
 - (c) No signs or advertising materials shall be posted on or from a balcony railing.
 - (d) Satellites may be placed on individual unit balconies; however, they must be placed so as not to protrude beyond the balcony.

EXHIBIT B-1: GENERAL SITE LAYOUT PLAN

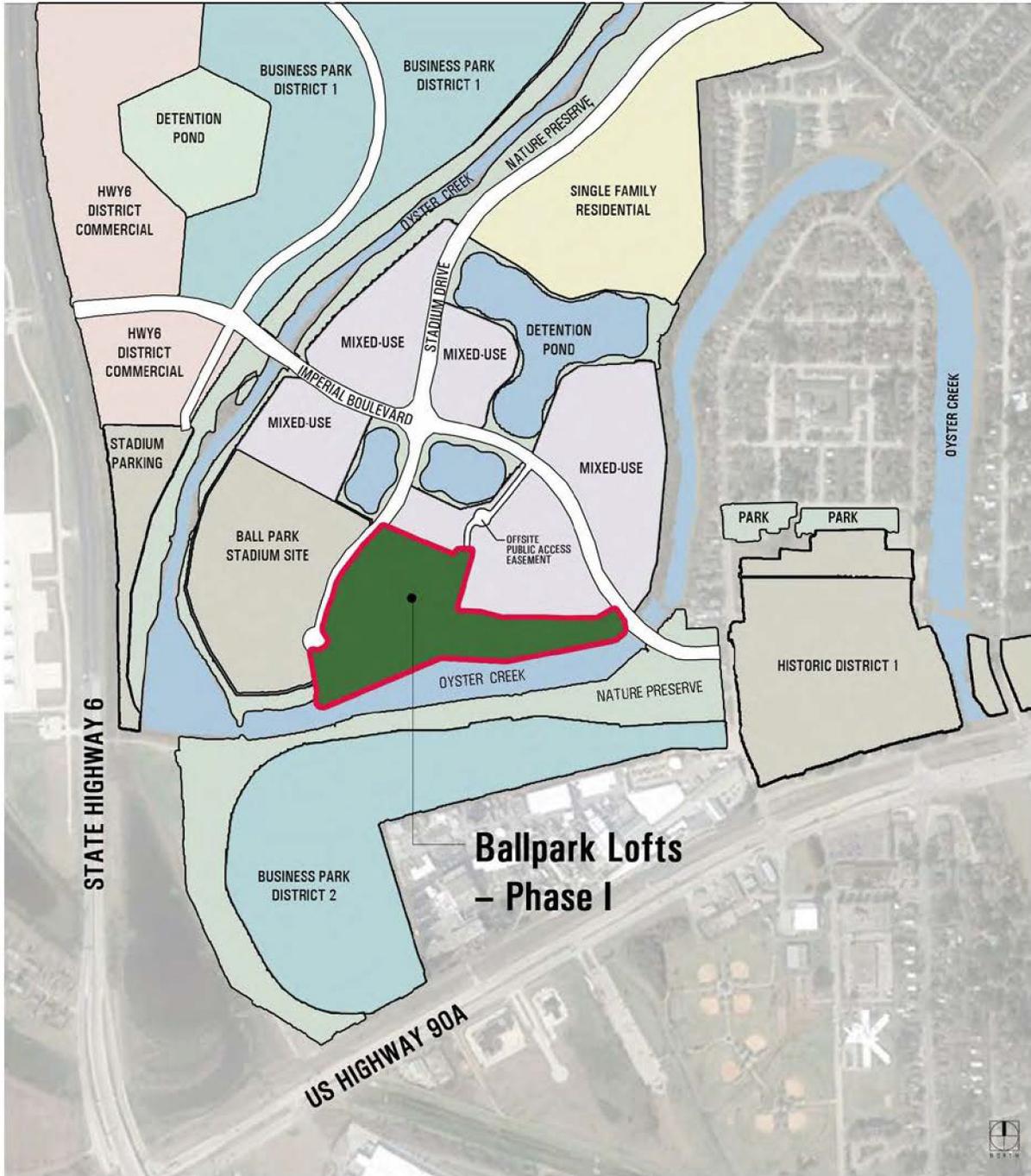


EXHIBIT B-1: IMPERIAL BALLPARK LOFTS - PHASE I



EXHIBIT B-2 FINAL SITE LAYOUT PLAN

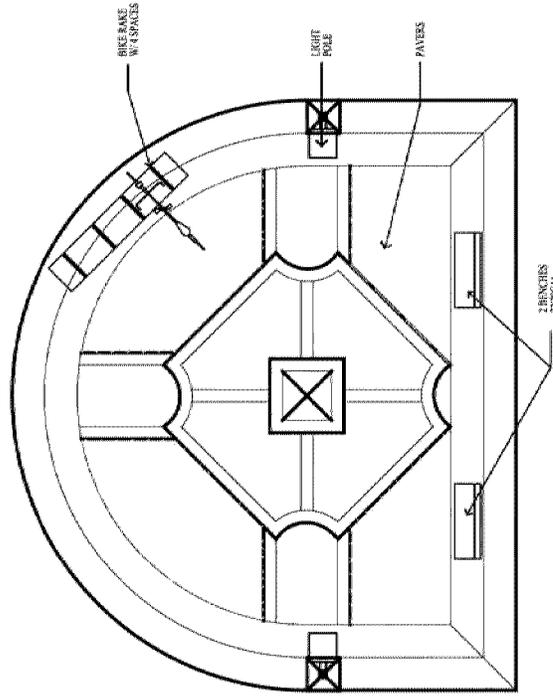


EXHIBIT B-2: IMPERIAL BALLPARK LOFTS - PHASE I

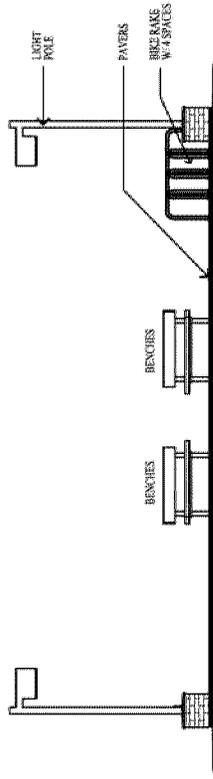
SUEBA CONSULTING, INC.
 1000 WEST 10TH AVENUE
 SUITE 1000 DENVER, CO 80202
 TEL: 303.733.1234 FAX: 303.733.1235
 WWW.SUEBAUSA.COM



EXHIBIT B-3 PLAZA DETAILS



BICYCLE/PEDESTRIAN PLAZA PLAN



BICYCLE/PEDESTRIAN PLAZA SECTION

NOTES

- MINIMUM 2 TREES PER PLAZA IN ADDITION TO STREET TREE REQUIREMENTS
- MINIMUM 500 SQ. FT. AREA PER PLAZA

EXHIBIT B-3: IMPERIAL BALLPARK LOFTS - PHASE I

IMPERIAL BALLPARK LOFTS ZONING ORDINANCE/Page 15



SUEBA CONSULTING, INC.
 1000 W. 10TH STREET, SUITE 100
 ANAHEIM, CA 92801
 (714) 933-0700

imperialballparkphaseoneord



Exhibit B-4
Plant List for Ballpark Lofts at Imperial – Phase I

The following is a list of approved trees and shrubs. Alternative plants not specified in this list may be approved by the Director if determined that an alternative is substantially equal to or better than a specified material and the use will not violate any provision of the PD:

Shade Trees:

Pecan	<i>Carya illinoensis</i>
Fringe Tree	<i>Chionanthus virginicus</i>
Japanese Blueberry	<i>Elaeocarpus decipiens</i>
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>
Savannah Holly	<i>Ilex attenuate 'Savannah'</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Date Palm	<i>Phoenix dactylifera 'Medjool' or 'Zahidi'</i>
Loblolly Pine	<i>Pinus taeda</i>
Texas Pistache	<i>Pistacia texana</i>
Sycamore	<i>Platanus occidentalis'</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinkapin Oak	<i>Quercus muehlenbergii</i>
Monterey Oak	<i>Quercus polymorpha</i>
Water Oak	<i>Quercus nigra</i>
Live Oak	<i>Quercus virginiana</i>
Shumard Oak	<i>Quercus shumardii</i>
Bald Cypress	<i>Taxodium distichum</i>
Pond Cypress	<i>Taxodium ascendens</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Bosque or Drake Elm	<i>Ulmus parvifolia 'Bosque' or 'Drake'</i>
California Fan Palm	<i>Washingtonia filifera</i>
Mexican Fan Palm	<i>Washingtonia robusta</i>

Small & Ornamental Trees:

Texas Redbud	<i>Cercis canadensis 'var. texensis'</i>
European Fan Palm	<i>Chamaerops humilis</i>
Desert Willow	<i>Chilopsis linearis</i>
Smokebush	<i>Cotinus obovatus</i>
Loquat	<i>Eryobotrya japonica</i>
Foster Holly	<i>Ilex x attenuata 'Fosterii'</i>
Possumhaw Holly	<i>Ilex decidua</i>
Yaupon Holly	<i>Ilex vomitoria</i>
Columnar Juniper	<i>Juniperus spp.</i>
Crape Myrtle	<i>Lagerstroemia indica 'Basham's Pink', 'Natchez', 'Muskogee'</i>
Little Gem Magnolia	<i>Magnolia grandiflora 'Little Gem'</i>
Treeform (MT) Ligustrum	<i>Ligustrum japonicum</i>
Saucer Magnolia	<i>Magnolia x soulangeana</i>
Sweetbay Magnolia	<i>Magnolia virginiana</i>

Tree Wax Myrtle	<i>Myrica cerifera</i>
Mexican Plum	<i>Prunus mexicana</i>
Texas Sable Palm	<i>Sabal texana</i>
Texas Mountain Laurel	<i>Sophora secundiflora</i>
Windmill Palm	<i>Trachycarpus fortunei</i>
Chaste Tree	<i>Vitex agnus-castus</i>

Shrubs:

Abelia	<i>Abelia x grandiflora</i> 'Prostrata', 'Sherwoodi', 'Edward Goucher'
Dwarf Bottlebrush	<i>Callistemon citrinus</i> 'Austraflora', 'Firebrand', 'Little John', and 'Splendens'
Japanese Clevera	<i>Ternstroemia gymnathera</i>
Sago Palm	<i>Cycas revoluta</i>
Umbrella Plant	<i>Cyperus alternifolius</i>
African/Butterfly Iris	<i>Dietes iridioides</i> , <i>Dietes bicolor</i>
Elaeagnus Ebbingei	<i>Elaeagnus macrophylla</i>
Silverberry	<i>Elaeagnus fruilandi</i>
Pineapple Guava	<i>Feijoa sellowiana</i>
Red Yucca	<i>Hesperaloe parviflora</i>
Barbados Cherry	<i>Malpighia Glabra</i>
Fatsia	<i>Fatsia japonica</i>
Dwarf Burford Holly	<i>Ilex cornuta</i> 'Burfordii Nana'
Chinese Holly	<i>Ilex cornuta</i> 'Rotunda'
Dwarf Yaupon	<i>Ilex vomitoria</i> 'Nana'
Louisiana Iris	<i>Iris louisiana</i>
Dwarf Crape Myrtle	<i>Lagerstroemia indica</i> 'Nana'
Ligustrum	<i>Ligustrum japonicum</i>
Waxleaf Glossy Privet	<i>Ligustrum lucidum</i>
Fringe Flower	<i>Loropetalum chinense</i>
Maiden Grass	<i>Miscanthus sinensis</i> var.
Dwarf Wax Myrtle	<i>Myrica pusilla</i>
Nandina	<i>Nandina domestica</i>
Purple Fountain Grass	<i>Pennisetum setaceum</i>
Indian Hawthorn	<i>Raphiolepis indica</i> 'Clara'
Shrub Rose	<i>Rosa</i> spp. 'Knockout', 'The Fairy', 'Bonica', 'Carefree Wonder'
Society Garlic	<i>Tulbaghia violacea</i>
Sweet Viburnum	<i>Viburnum</i> spp.
Bridal Wreath Spiraea	<i>Spiraea prunifolia</i>
Oleander	<i>Nerium oleander</i>
Dwarf Oleander	<i>Nerium oleander</i> 'Petite Pink', 'Little Red'
Plumbago	<i>Plumbago auriculata</i>
Dwarf Pomegranate	<i>Punica granatum</i> 'Nana'
Kumquat	<i>Fortunella</i> spp.
Muhly Grass	<i>Meuhlenbergia lindheimeri</i>
Dwarf Maiden Grass	<i>Miscanthus sinensis</i> 'Morning Light'

EXHIBIT B-5 PEDESTRIAN CIRCULATION PLAN

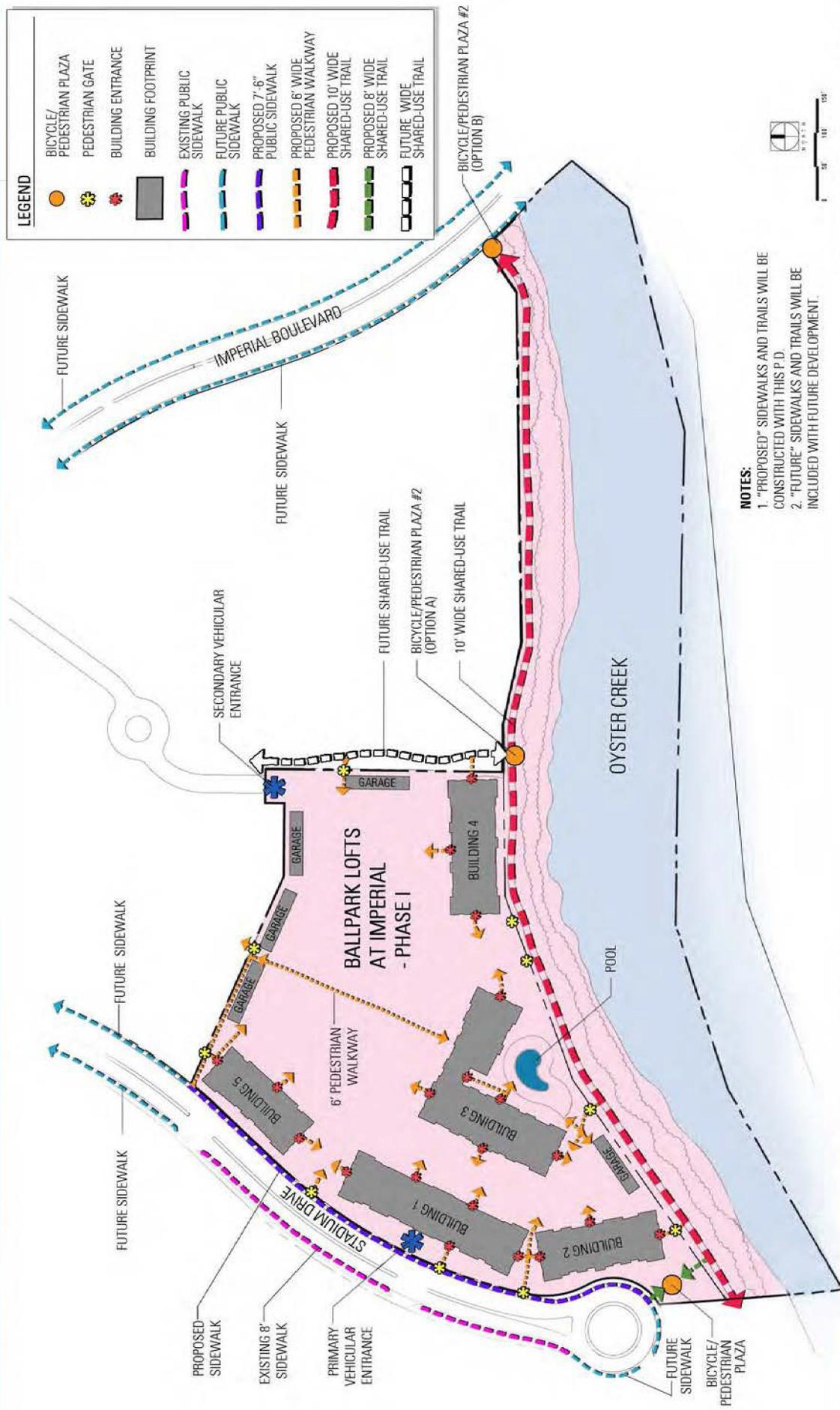
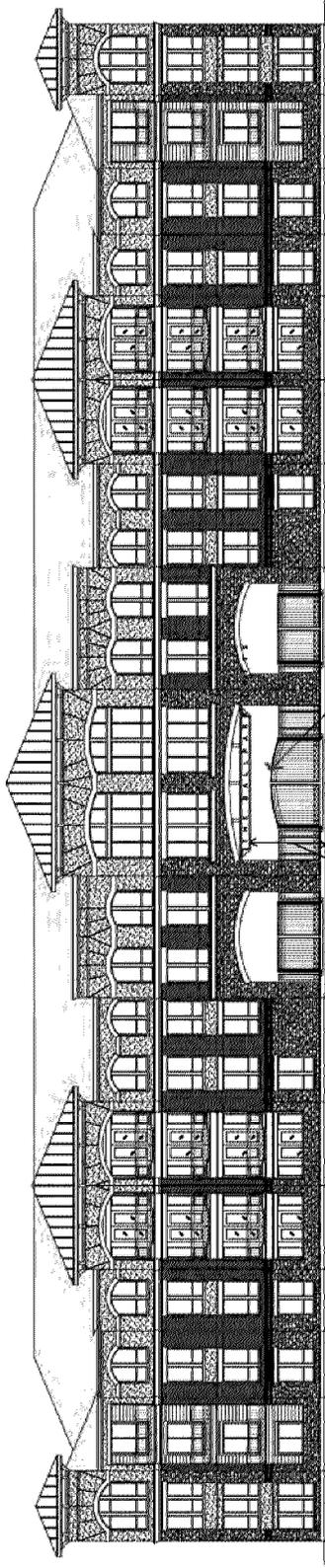


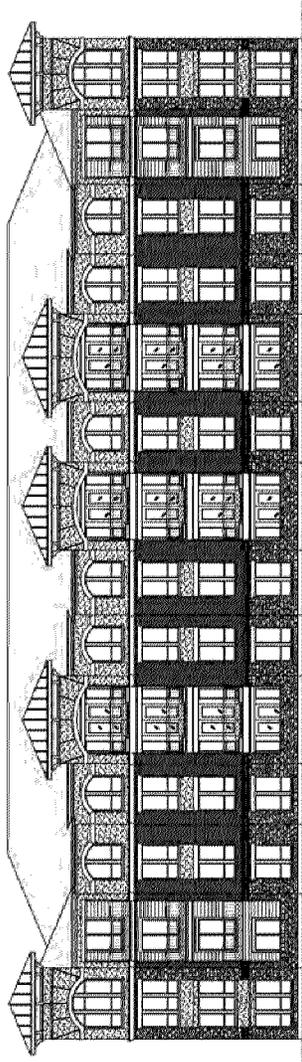
EXHIBIT B-5: IMPERIAL BALLPARK LOFTS - PHASE I

SUREA CONSULTING, INC.
 17450 S. GARDEN AVENUE
 SUITE 100
 GARDEN CITY, CA 92345
 TEL: 951.261.1100
 WWW.SUREAUSA.COM

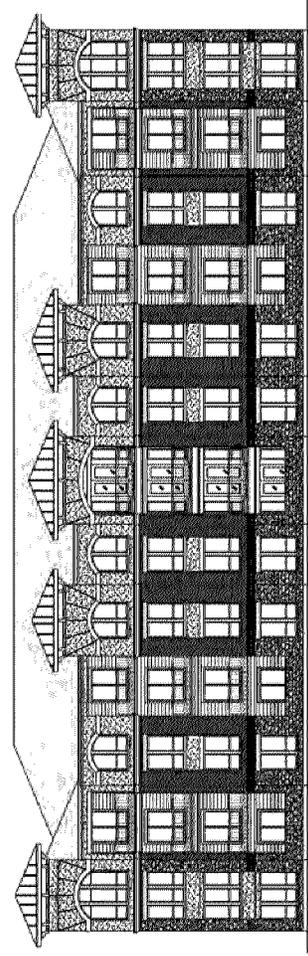
EXHIBIT B-6 BUILDING ELEVATIONS ALONG STADIUM DRIVE



BUILDING 1



BUILDING 2



BUILDING 5

NOTE:
SEE ELEVATION DETAIL ON EXHIBIT B-7

EXHIBIT B-6: IMPERIAL BALLPARK LOFTS - PHASE I

IMPERIAL BALLPARK LOFTS ZONING ORDINANCE/PAGE 19



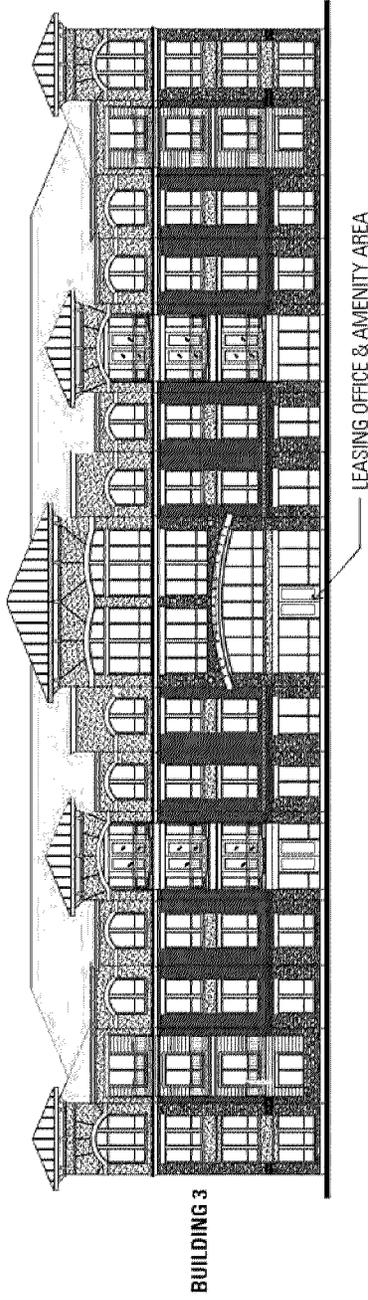
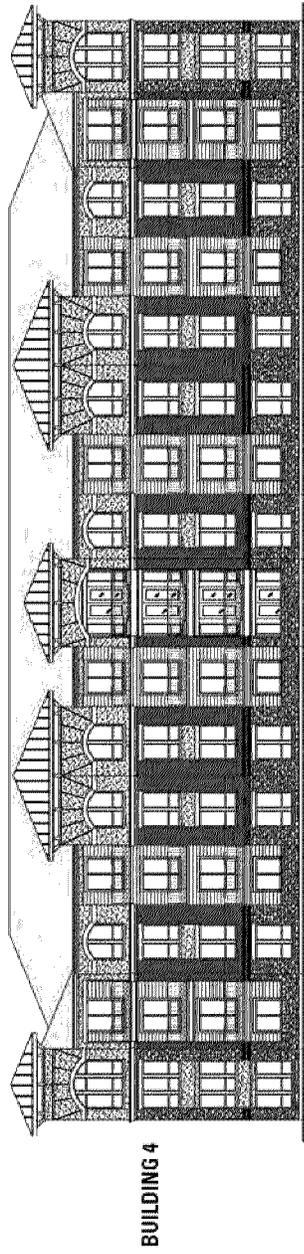
SUEBA CONSULTING, INC.
ARCHITECTS, ENGINEERS, PLANNERS
1715 N. CALIFORNIA
SUNLAND, CALIFORNIA 91786



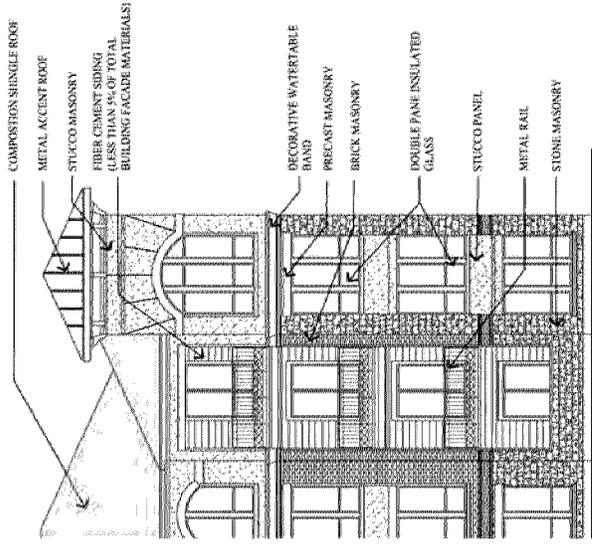
imperialballparkloftszoneord



EXHIBIT B-7 BUILDING ELEVATIONS ALONG OYSTER CREEK



**ELEVATION DETAIL
(ALSO APPLICABLE TO EXHIBIT B-6)**



BUILDING FACADE MATERIALS
MINIMUM 80% MASONRY AND/OR GLASS
(INCLUDES BRICK, STONE, AND STUCCO)
ARCHITECTURAL METALWORK LIMITED TO ENTRY
CANOPY, RAILS & ACCENT METAL ROOFS

EXHIBIT B-7: IMPERIAL BALLPARK LOFTS - PHASE I

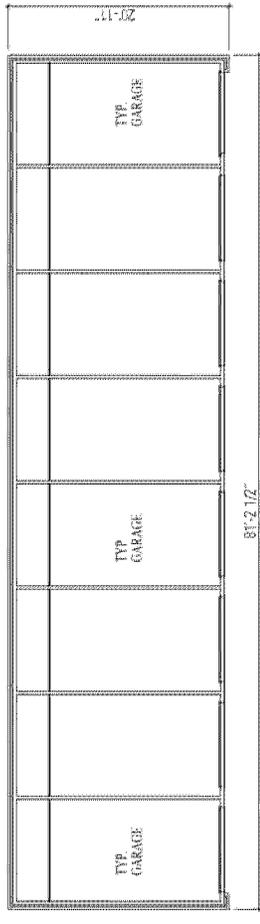
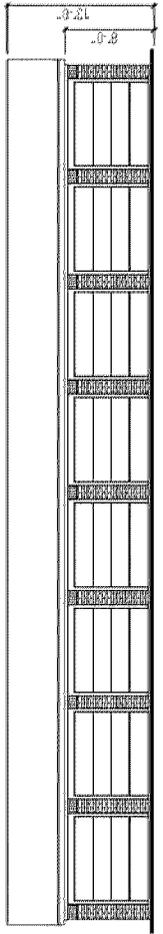
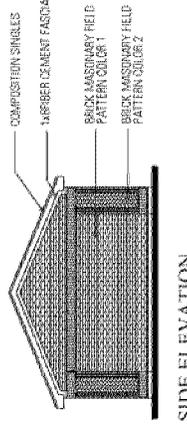
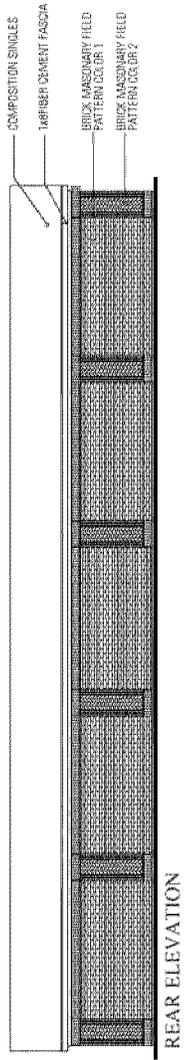
IMPERIAL BALLPARK LOFTS ZONING ORDINANCE/PAGE 20



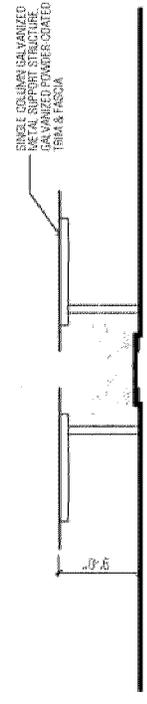
imperialballparkloftszoneord

EXHIBIT B-8 GARAGE AND CARPORT ELEVATIONS

GARAGE PLAN AND ELEVATIONS



TYPICAL CARPORT SECTION



TYPICAL CARPORT ELEVATION

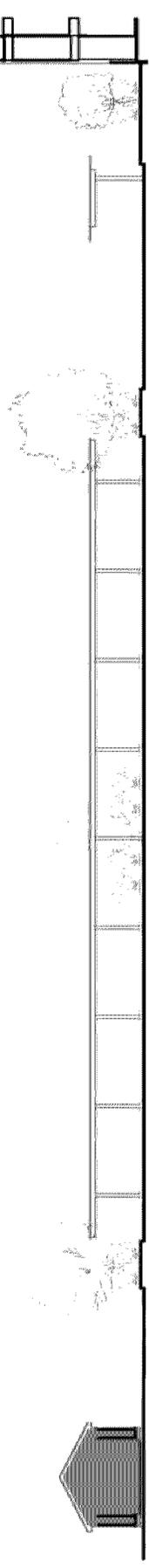


EXHIBIT B8: IMPERIAL BALLPARK LOFTS - PHASE I



EXHIBIT B-9: OFFSITE ACCESS EASEMENT

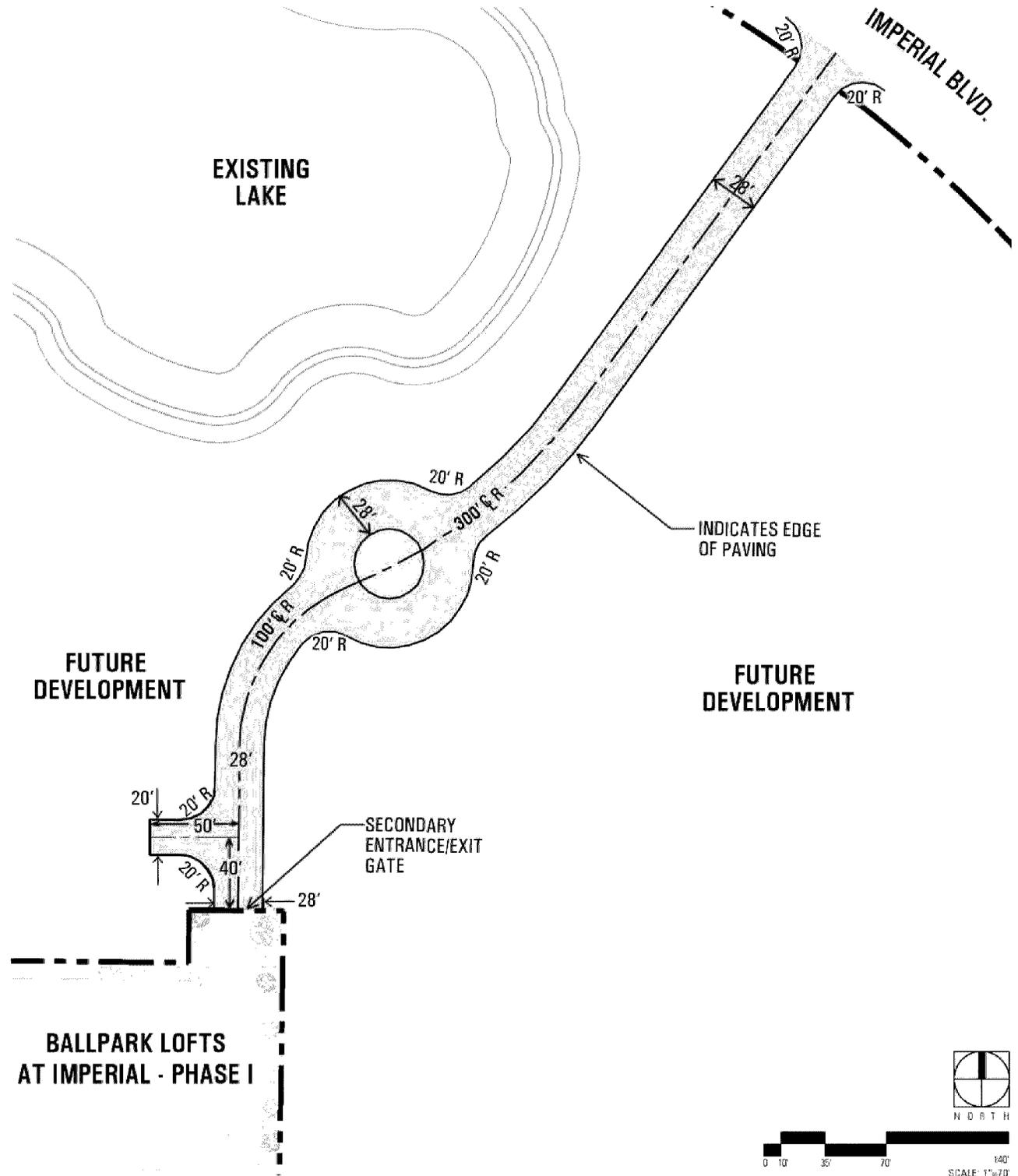


EXHIBIT B-9: IMPERIAL BALLPARK LOFTS - PHASE I