

**ORDINANCE NO. 2056**

**AN ORDINANCE OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING TO APPROXIMATELY FIVE (5) ACRES OF LAND LOCATED AT THE NORTHEAST CORNER OF ADDISON AVENUE AND U.S. HIGHWAY 59 WITHIN THE TELFAIR DEVELOPMENT FROM PLANNED DEVELOPMENT (PD) DISTRICT GENERAL DEVELOPMENT PLAN TO PLANNED DEVELOPMENT (PD) DISTRICT FINAL DEVELOPMENT PLAN FOR A NEW AND USED CAR DEALERSHIP WITH SERVICE CENTER (NON-COLLISION REPAIR).**

WHEREAS, Acura Sugar Land has applied for a change in zoning to approximately five (5) acres of land located at the northeast corner of Addison Avenue and U.S. Highway 59 within the Telfair Development from Planned Development (PD) District General Development Plan zoning district classification to Planned Development (PD) District Final Development Plan for a New and Used Car Dealership with Service Center (non-collision repair).

WHEREAS, the City Planning and Zoning Commission forwarded its final report to the City Council, recommending approval of the rezoning request with the modifications reflected in this ordinance; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted, in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS, the City Planning and Zoning Commission recommended granting such requested zoning change with modifications and the same is herein incorporated and made a part of this ordinance; and

WHEREAS, the City Council finds that the zoning request complies with the City's comprehensive plan and now deems it is appropriate to make such zoning change; NOW, THEREFORE,

**BE IT ORDAINED BY THE CITY COUNCIL  
OF THE CITY OF SUGAR LAND, TEXAS:**

**Section 1.** That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

**Section 2.** That the zoning district classification of approximately five (5) acres of land located at the northeast corner of Addison Avenue and U.S. Highway 59 within the Telfair Development and described in Exhibit A, attached hereto and incorporated herein by reference in this ordinance, is changed from Planned Development (PD) District General Development Plan to Planned Development (PD) District Final Development Plan for a New and Used Car Dealership with Service Center (non-collision repair) zoning district classification under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

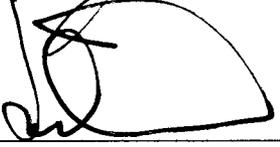
**Section 3.** That the following Exhibits are attached hereto and incorporated herein into this ordinance:

- Exhibit A – Legal description of the subject property
- Exhibit B – Final Development Plan
- Exhibit B-1 – Final Site Layout Plan
- Exhibit B-2 – Car Carrier Plan
- Exhibit B-3 – Landscape and Pedestrian Circulation Plan
- Exhibit B-4 – Plant List
- Exhibit B-5 – Freestanding Sign Elevations
- Exhibit B-6 – Building Floor Plan
- Exhibit B-7 – Building Elevations
- Exhibit B-8 – Plant Height Diagram – U.S. 59
- Exhibit B-9 – Plant Height Diagram – Addison Avenue
- Exhibit B-10 – Bird’s Eye View from U.S. 59 & Addison Avenue
- Exhibit B-11 – Elevated Bird’s Eye View from U.S. 59 & Addison Avenue
- Exhibit B-12 – Bird’s Eye View from Addison & Cotesworth Avenues
- Exhibit B-13 – Eye Level Perspectives

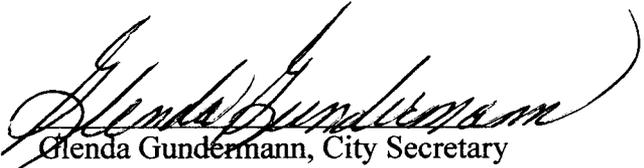
**Section 4.** That the City's official zoning map be amended to reflect this change in zoning district classification.

READ IN FULL on first consideration on June 07, 2016.

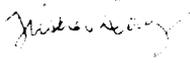
APPROVED upon second consideration on June 21, 2016.

  
\_\_\_\_\_  
Joe R. Zimmerman, Mayor

ATTEST:

  
Glenda Gundermann, City Secretary

APPROVED AS TO FORM:



**Attachments:**

- Exhibit A – Legal description of the subject property
- Exhibit B – Final Development Plan
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- Exhibit B-13 – Eye Level Perspectives

Exhibit A

By \_\_\_\_\_

DESCRIPTION OF  
4.990 ACRES  
(217,343 SQUARE FEET)

Being 4.990 acres of land located in the Alexander Hodge League, Abstract 32, Fort Bend County, Texas, more particularly being a portion of the residue of a called 1651.239 acre tract conveyed to NNP-Keepsake, L.P. by an instrument of record in File No. 2003149525, Official Public Records, of said Fort Bend County, (F.B.C.O.P.R.), said NNP-Keepsake, L.P., formerly known as NNP-Telfair LP by an instrument of record in File No. 2006007940, F.B.C.O.P.R., said NNP-Telfair LP now known as NNP-Telfair LLC by a Certificate of Conversion dated March 22, 2012, said 4.990 acres being more particularly described by metes and bounds as follows (all bearings referenced to the Texas Coordinate System, South Central Zone, NAD 83, 1993 adjustment);

BEGINNING at a TxDot brass disc in concrete found marking an angle point in the south line of said 1651.239 acre tract, on the northerly right-of-way line of U.S. Highway No. 59 (width varies) by instrument of record in File 8600222, Official Records of said Fort Bend County, Texas (F.B.C.O.R.);

Thence, South 52° 29' 40" West, along the north and south lines, 504.50 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a curve;

Thence, 56.38 feet, departing said north and south lines and along the arc of a tangent curve to the right having a radius of 35.00 feet, a central angle of 92° 17' 30" and a chord that bears North 81° 21' 34" West, 50.48 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner;

Thence, North 35° 12' 49" West, 41.53 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a curve;

4.990 acres

October 29, 2013  
Job No. 1800-0139A

Thence, 71.89 feet along the arc of a tangent curve to the right having a radius of 300.00 feet, a central angle of  $13^{\circ} 43' 45''$  and a chord that bears North  $28^{\circ} 20' 57''$  West, 71.71 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a compound curve;

Thence, 161.56 feet along the arc of a tangent curve to the right having a radius of 475.00 feet, a central angle of  $19^{\circ} 29' 15''$  and a chord that bears North  $11^{\circ} 44' 27''$  West, 160.78 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner;

Thence, North  $01^{\circ} 59' 50''$  West, 167.60 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a curve;

Thence, 26.79 feet along the arc of a tangent curve to the left having a radius of 545.00 feet, a central angle of  $02^{\circ} 48' 58''$  and a chord that bears North  $03^{\circ} 24' 19''$  West, 26.78 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a reverse curve;

Thence, 43.00 feet along the arc of a tangent curve to the right having a radius of 35.00 feet, a central angle of  $70^{\circ} 23' 02''$  and a chord that bears North  $30^{\circ} 22' 43''$  East, 40.34 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner, the beginning of a reverse curve;

Thence, 197.83 feet along the arc of a tangent curve to the left having a radius of 568.00 feet, a central angle of  $19^{\circ} 57' 21''$  and a chord that bears North  $55^{\circ} 35' 34''$  East, 196.83 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner;

Thence, North  $45^{\circ} 36' 54''$  East, 111.03 feet to a 5/8-inch iron rod with plastic cap stamped "LJA ENG" set for corner;

4.990 acres

October 29, 2013  
Job No. 1800-0139A

Thence, South 37° 30' 20" East, 469.95 feet to the POINT OF BEGINNING and containing 4.990 acres of land.

This description prepared from a survey and plat prepared by the undersigned dated October 29, 2013.



Gary D. Nutter  
Registered Professional Land Surveyor  
Texas Registration No. 5659  
LJA Engineering, Inc.



**EXHIBIT B**  
**FINAL DEVELOPMENT PLAN**  
**Acura Sugar Land**

**A. Contents.** This final development plan includes the following sections:

- General Provisions, Definitions and Exhibits
- Land Uses
- Development Regulations
- Landscape Regulations
- Pedestrian Circulation Regulations
- Sign Regulations
- Building Regulations

**B. General Provisions, Definitions, and Exhibits.**

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-2 (General Business) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-2 zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.

2. Except as otherwise provided herein, the words used in this final development plan have the meaning established by the Development Code. In this ordinance:

*Offset* means either an abrupt change in the dimension or profile of a building wall, or a horizontal ledge on the face of a wall formed by the diminution of its thickness above.

*Open Space* means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas, or other impermeable material.

*PD* means the planned development district created by this ordinance.

*Pavers* mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

- |              |  |
|--------------|--|
| Exhibit B-1: | <i>Final Site Layout Plan</i>                    |
| Exhibit B-2: | <i>Car Carrier Plan</i>                          |
| Exhibit B-3: | <i>Landscape and Pedestrian Circulation Plan</i> |
| Exhibit B-4: | <i>Plant List</i>                                |
| Exhibit B-5: | <i>Freestanding Sign Elevations</i>              |
| Exhibit B-6: | <i>Building Floor Plan</i>                       |
| Exhibit B-7: | <i>Building Elevations</i>                       |
| Exhibit B-8: | <i>Planting Height Diagram – U.S. 59</i>         |
| Exhibit B-9: | <i>Planting Height Diagram – Addison Avenue</i>  |

- Exhibit B-10: *Bird's Eye View from U.S. 59 & Addison Avenue*
- Exhibit B-11: *Elevated Bird's Eye View from U.S. 59 & Addison Avenue*
- Exhibit B-12: *Bird's Eye View from Addison & Cotesworth Avenues*
- Exhibit B-13: *Eye Level Perspectives*

**C. Land Uses.**

1. Permitted land uses are restricted to SIC 5511 for New and Used Car Dealer and SIC 7538 for General Automotive (Service) Repair Shop. All other land uses are prohibited in the PD.
2. New vehicle sales shall be the primary use within the PD.
3. Used (certified pre-owned) vehicle sales and automotive services shall be secondary uses limited to their designated areas within the PD as shown on Exhibit B-1, *Final Site Layout Plan*.
4. Used (certified pre-owned) vehicle display areas may also display new vehicles, but designated new vehicle display areas shall not display used vehicles.
5. Used (certified pre-owned) vehicle inventory shall be limited to a maximum of 36 display spaces and 36 inventory spaces as shown on Exhibit B-1, *Final Site Layout Plan*.
6. On-site collision repair of vehicles is prohibited.
7. Junk vehicles, as defined by the City's Code of Ordinances, shall not be stored on the site.
8. At no future date shall the PD increase in size up to the 6-acre maximum identified in the General Development Plan per Ordinance No. 1926.

**D. Development Regulations** – The PD shall be developed in accordance with the following development regulations:

1. Maximum height of structures shall be two-story and less than 30 feet as measured from the top of curb on the east side of Addison Avenue.
2. Maximum building size shall be 35,000 square feet.
3. Minimum building setbacks:
 

(a) Abutting U.S. Highway 59:	100 feet
(b) Abutting Addison Avenue:	70 feet
(c) Abutting Cotesworth Avenue:	70 feet
(d) Abutting east lot line:	10 feet
3. Minimum parking lot setbacks:
 

(a) U.S. Highway 59 lot line:	50 feet
(b) Addison Avenue lot line:	25 feet
(c) Cotesworth Avenue lot line:	15 feet
(d) East lot line:	10 feet

4. Vehicular access and surface areas:
  - (a) No more than two vehicular access points shall connect to adjacent streets. As shown on Exhibit B-1, *Final Site layout Plan*, one access point shall be located on Addison Avenue and the second access point shall be located on Cotesworth Avenue. No additional access points will be permitted.
  - (b) All driveways, vehicle maneuvering areas, drive aisles, truck queuing areas and parking areas shall be paved with a concrete surface, decorative concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City Design Standards.
  - (c) Minimum 20% of vehicle use areas shall be a decorative concrete surface or interlocking pavers.
  - (d) On-site routing for car carriers shall occur in accordance with Exhibit B-2, *Car Carrier Plan*.
  - (e) Loading or unloading of vehicle inventory shall occur only within the paved loading/unloading zone shown on Exhibit B-1, *Final Site Layout Plan*.
  
5. Bicycle accommodations:
  - (a) Off-street parking for bicycles shall be provided within 50 feet of a customer entrance to the sales building as shown on Exhibit B-1, *Final Site Layout Plan*.
  - (b) Required bicycle parking spaces shall be at least 5% of the minimum required number of automobile parking spaces.
  - (c) Bicycle spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
  - (d) Bicycle parking spaces shall include racks, lockers, or other structures intended for parking bicycles with a minimum of 3 spaces in any one location.
  - (e) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
  
6. An outside voice paging or sound system is prohibited.
  
7. Outdoor lighting of parking lots shall not exceed an average of 12-foot candle power.

**E. Landscape Regulations** – The PD shall be developed as shown on Exhibit B-3, *Landscape and Pedestrian Circulation Plan*, and in accordance with the following landscape regulations:

1. Minimum widths for landscape buffers, continuous along:
 

(a) U.S. Highway 59 lot line:	50 feet
(b) Addison Avenue lot line:	25 feet
(c) Cotesworth Avenue lot line:	15 feet
(d) East lot line:	10 feet
  
2. Landscape buffers:
  - (a) Buffers may include freestanding signs, sidepaths, sidewalks, and pedestrian walkways.
  - (b) Buffers along public streets may be used for future transit stops.
  - (c) Driveways crossing the landscape buffer shall not be counted as part of the buffer open space.
  - (d) Buffers may not be used for wind device signs, flags and flagpoles.

- (e) The landscape buffers along Cotesworth Avenue and the east side/rear lot line shall include a row of evergreen shrubs at least 3 feet in height at time of planting that can grow to at least 5 feet in height when mature.
3. Minimum 20% open space of lot area, inclusive of landscape buffers.
  4. Plant species used to satisfy the requirements of the PD shall be those listed on Exhibit B-4, *Plant List*.
  5. Street and shade trees:
    - (a) Along U.S. Highway 59, Addison Avenue and Cotesworth Avenue, at least one street tree shall be required within the landscape buffer for each 30 feet of street frontage, or portion thereof, measured along the right-of-way line.
    - (b) Required trees may be clustered or spaced linearly; they need not be placed evenly.
    - (c) All shade trees along U.S. Highway 59 shall have a minimum 6-inch caliper and minimum 12-foot height as measured at ground level when planted. All other street and shade trees within the PD shall have a minimum 4-inch caliper and minimum 10-foot height as measured at ground level when planted.
    - (d) All trees planted on the site shall meet the requirements of the Development Code or this PD, whichever are greater.

**F. Pedestrian Circulation Regulations** – The PD shall be developed as shown on Exhibit B-3, *Landscape and Pedestrian Circulation Plan*, and in accordance with the following pedestrian circulation regulations:

1. A continuous sidepath with a minimum 10-foot width shall be required along Addison Avenue.
2. A continuous sidewalk with a minimum 6-foot width shall be required along Cotesworth Avenue.
3. A pedestrian access easement shall be provided along U.S. Highway 59 for a possible future sidewalk or sidepath. Attendant temporary construction easements may also be required.
4. Pedestrian walkways:
  - (a) A pedestrian walkway shall connect a street-facing sales building entrance to the adjacent public street sidepath on Addison Avenue.
  - (b) A pedestrian walkway shall connect a street-facing service building entrance to the adjacent public street sidewalk on Cotesworth Avenue.
  - (c) Pedestrian walkway criteria:
    - i. Minimum 5-foot width;
    - ii. Readily visible and free of encroachment by parked vehicles;
    - iii. Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
    - iv. Predominantly shaded with either shade trees at one per 30 linear feet of walkway, or building canopies; and
    - v. Lighted with pedestrian-scaled fixtures.

- G. Sign Regulations** – The site shall be developed in accordance with the following sign regulations:
1. Freestanding signs:
    - (a) Fronting on U.S. Highway 59:
      - i. Maximum effective area: 150 square feet
      - ii. Maximum height: 12 feet
      - iii. Number per feet of frontage: 1 per 250 feet, or two maximum
      - iv. Freestanding sign must not be located within 250 feet of another freestanding sign.
      - v. Freestanding signs shall be located as shown on Exhibit B-1, *Final Site Layout Plan*.
    - (b) Exterior finishes for freestanding signs are shown on Exhibit B-5, *Freestanding Sign Elevations*.
    - (c) Additional regulations on freestanding signs within the Development Code, Section 4-24 remain applicable.
  2. Vehicle signs: Signs relating to the sales of vehicles, other than the manufacturer’s dealer’s invoice sticker or signs required by law, are not allowed on automobile inventory.
  3. Directional signage, no greater than 9 square feet and in conformance with the architectural treatment of the site, will be provided for vehicle transporters, and shall include the following:
    - (a) Directional sign to assist with the circulation of vehicle car carriers upon entry to the site from Addison Avenue.
    - (b) “No Right Turn – Trucks” sign at the driveway exit onto Addison Avenue.
  4. Wind device signs, as defined in the Development Code, are prohibited within the PD.
    5. Flags and flagpoles, as defined in the Development Code:
      - (a) No more than two flags or one flagpole are permitted in the PD.
      - (b) A flag’s effective area shall not exceed 60 square feet.
      - (c) The flagpole shall not exceed 30 feet in height.

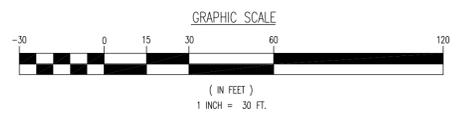
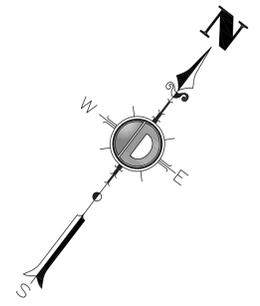
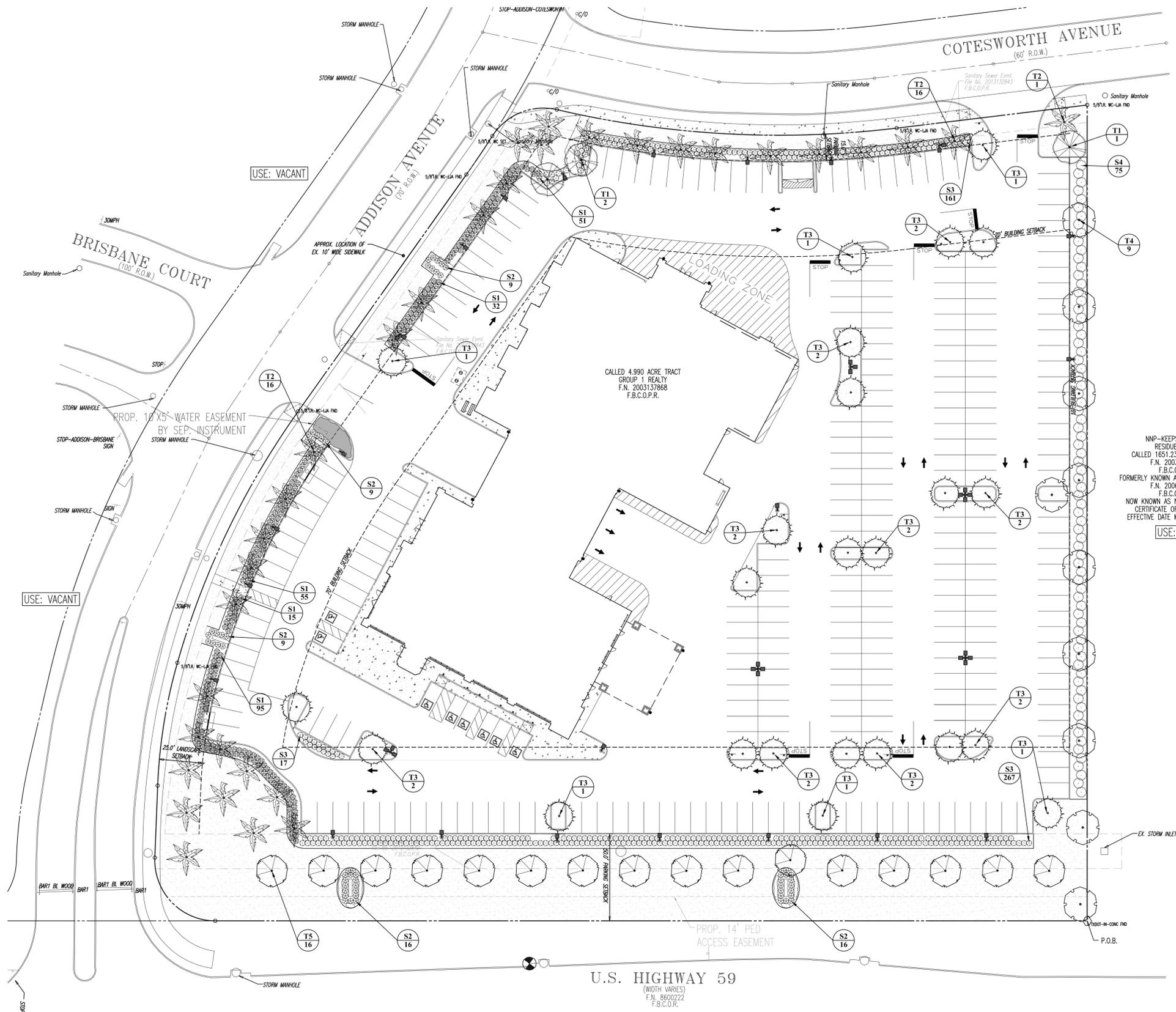
**H. Building Regulations** – Buildings shall be developed as shown on Exhibit B-6, *Building Floor Plan*, Exhibit B-7, *Building Elevations*, and the four renderings (Exhibits B-10, 11, 12 and 13), and in accordance with the following building regulations:

1. Building design criteria:
  - (a) Horizontal and vertical building planes shall be articulated through offsets, changes in materials, colors and textures, or other methods.
  - (b) Architectural details in building facades shall create shade and cast shadows to provide visual relief.
  - (c) Facades greater than 100 feet in length shall incorporate offsets having a minimum depth of at least 5 feet, and extending at least 20% of the length of the façade.
  - (d) No uninterrupted length of a façade shall exceed 100 feet.
2. Building finishes:
  - (a) Primary Finish means an exterior finish consisting of brick, stone (natural, cast, or cultured-textured), and glass.

- (b) Secondary Finish means an exterior finish consisting of stucco, ceramic tiles, and architectural finished metal panels similar to aluminum composite materials or anodized metals.
  - (c) Primary Finishes shall comprise at least 85% of each façade. The remaining portion of an exterior wall that is not required to be constructed of a Primary Finish must be constructed of a Secondary Finish.
  - (d) No single Primary Finish material shall cover more than 80% of the front of any building.
  - (e) Use of metal other than architectural finished metal panels is limited to canopies, parapet walls, roof systems, and miscellaneous trim work, and such use shall meet the durability standards of the Development Code.
  - (f) The Director may approve alternative Primary or Secondary Finishes not specified in this article if the Director determines that the alternative finish is substantially equal to or better than a specified Primary or Secondary Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.
  - (g) The following materials shall not be used for a Primary or Secondary Finish:
    - (i) Fiber cement siding, vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic, or fiberglass panels.
    - (ii) Unfired or underfired clay, sand, or shale brick.
    - (iii) Smooth, uncolored concrete surfaces, textured concrete panels, or concrete masonry units
    - (iv) Exterior Insulated Finish Systems (E.I.F.S.).
    - (v) Galvanized, zinc-coated, and unfinished metals
    - (vi) Wood.
3. All building facades within the PD shall be of complementary architectural design, color and materials.
  4. Screening walls, wing walls, columns, and similar building extensions and supports shall be constructed of complementary architectural design, color and materials as the building or structure to which they are attached.
  5. Dumpster enclosure shall be at least 6 feet in height but no more than 8 feet, and shall be constructed of complementary colors and materials as the nearby service building.
  6. Building canopies:
    - (a) Canopies shall be provided at all street-facing building entrances intended for pedestrians.
    - (b) Canopies may be structural extensions of the building or constructed of fabric attached to the building.
    - (c) An individual canopy shall cover a ground area of at least 20 square feet.
    - (d) The Director may approve an alternative canopy not specified in this Article if the Director determines that the alternative canopy is substantially equal to or better than a specified requirement in quality, durability and appearance and the use thereof will not violate any provision of this Article.







**TREES**

-  T1 ACCENT SHADE TREE (4" CALIPER, 10' HIGH MIN.)
-  T2 STREET TREE - ADDISON AVE. AND COTESWORTH AVE. (4" CALIPER, 10' HIGH MIN.)
-  T3 PARKING LOT SHADE TREE (4" CALIPER, 10' HIGH MIN.)
-  T4 EASTERN PROPERTY LINE SHADE TREE (4" CALIPER, 10' HIGH MIN.)
-  T5 SHADE TREE - U.S. HIGHWAY 59 (6" CALIPER, 12' HIGH MIN.)

**PERIMETER SHRUBS**

-  S1 ADDISON AVENUE SCREENING SHRUB - 3' O.C. 3' HIGH AT PLANTING MIN.
-  S2 LOW ACCENT SHRUB AT MONUMENT SIGNS - 3' O.C. 1' HIGH AT PLANTING MIN.
-  S3 COTESWORTH AVE./U.S. 59 SCREENING SHRUB - 3' O.C. 3' HIGH AT PLANTING MIN.
-  S4 EAST PROPERTY LINE SCREENING SHRUB - 5' O.C. 3' HIGH AT PLANTING MIN., 5' MINIMUM MATURE HEIGHT

**CITY NOTES**

ALL TREES PLANTED ON THE SITE TO MEET THE REQUIREMENTS OF THE DEVELOPMENT CODE (I.E. PERIMETER TREES ALONG EASTERN PROPERTY LINE, INTERIOR PARKING LOT TREES) MUST ALSO MEET THE REQUIREMENTS FOR SHADE TREES ESTABLISHED IN THE PD.

SHADE AND STREET TREES SHALL BE SELECTED FROM SPECIES SHOWN IN EXHIBIT B-4: PLANT LIST.

ALL PLANT QUANTITIES ARE APPROXIMATE AND SUBJECT TO CHANGE.

U.S. HIGHWAY 59  
(WIDTH VARIES)  
F.N. 8600222  
F.B.C.O.R.



 <p><b>DYNAMIC ENGINEERING</b> (dba) MIDWEST DYNAMIC ENGINEERING CONSULTANTS, PC</p> <p>LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING &amp; ZONING</p> <p>1904 King Street, Lake Como, New Jersey 07719 Ph: 973.974.0198 Fax: 973.974.0211 132 North Elm Street, Waco, Texas 76798 Ph: 767.234.2100 Fax: 767.234.2100 2654 West Street, Suite 113, Cleburne, Texas 76033 Ph: 817.679.9229 Fax: 817.679.9229 1222 North Sycamore Street, Newkirk, Pennsylvania 18860 Ph: 812.665.0276 Fax: 812.665.0281</p>		<p>Texas Registered Engineering Firm No. F-13667 6314 Breezy Hollow Lane Katy, TX 77450 T: 281.789.6400 www.dynamicec.com</p>	
<p>TITLE: EXHIBIT B-3: LANDSCAPE &amp; PEDESTRIAN CIRCULATION PLAN</p>			
<p>PROJECT: STERLING McCALL ACURA OF SUGAR LAND PROPOSED DEALERSHIP &amp; SERVICE CENTER GROUP 1 AUTOMOTIVE ADDISON AVENUE &amp; US HIGHWAY NO. 59 CITY OF SUGAR LAND, FORT BEND COUNTY, TEXAS</p>		<p>JOB No: 0658-13-043 DATE: 09/22/14</p>	<p>SCALE: (H) 1"=30' (V) 1"=10'</p>
<p>DESIGNED BY: CAM</p>		<p>SHEET No: 1</p>	
<p>CHECKED BY: MAW</p>		<p>CONSTRUCTION CHECK DATE</p>	
<p>CONSTRUCTION CHECK DATE</p>		<p>OF 1</p>	
<p>DEC Client Code: 0658</p>		<p>Rev. # 0</p>	

**GRAHAM MOORE**

PROFESSIONAL ENGINEER  
TEXAS LICENSE No. 110132

**EXHIBIT B-4  
PLANT LIST  
Acura Sugar Land**

The following is a list of plant materials. If the property owner requests plants that are not contained in this list, the Planning Director may approve them if they are determined to be similarly hardy.

**Street Trees**

Bald Cypress – *Taxodium distichum*  
Bosque Elm – *Ulmus parvifolia* ‘Bosque’  
Cedar Elm – *Ulmus crassifolia*  
Drake Elm – *Ulmus parvifolia* ‘Drake’  
Live Oak – *Quercus virginiana*  
Shumard Oak – *Quercus shumardii*

**Shade Trees**

Bald Cypress – *Taxodium distichum*  
Bosque Elm – *Ulmus parvifolia* ‘Bosque’  
Bur Oak – *Quercus macrocarpa*  
Cedar Elm – *Ulmus crassifolia*  
Drake Elm – *Ulmus parvifolia* ‘Drake’  
Live Oak – *Quercus virginiana*  
Shumard Oak – *Quercus shumardii*  
Monterrey Oak – *Quercus polymorpha*  
Pecan – *Carya illinoensis*  
Southern Magnolia – *Magnolia grandiflora*  
Sweetgum – *Liquidambar styraciflua*  
Water Oak – *Quercus nigra*

**Ornamental Trees**

American Holly – *Ilex opaca*  
Bradford Pear – *Pyrus calleryana* ‘Bradford’  
Crape Myrtle – *Lagerstroemia sp.*  
Magnolia – *Magnolia sp.*  
Redbud – *Cercis canadensis*  
Yaupon Holly – *Ilex vomitoria*  
Evergreen Chinese Elm – *Ulmus parvifolia*

**Shrubs for Screening and Buffering**

Hollies – *Hollies sp.*  
Magnolia – *Magnolia sp.*  
Oleander – *Oleander sp.*  
Pittosporum – *Pittosporum tobira*  
Southern Wax Myrtle – *Myrica cerifera*  
Texas Silverleaf Sage – *Leucophyllum sp.*

### Shrubs as a Single Specimen or for Mass Plantings

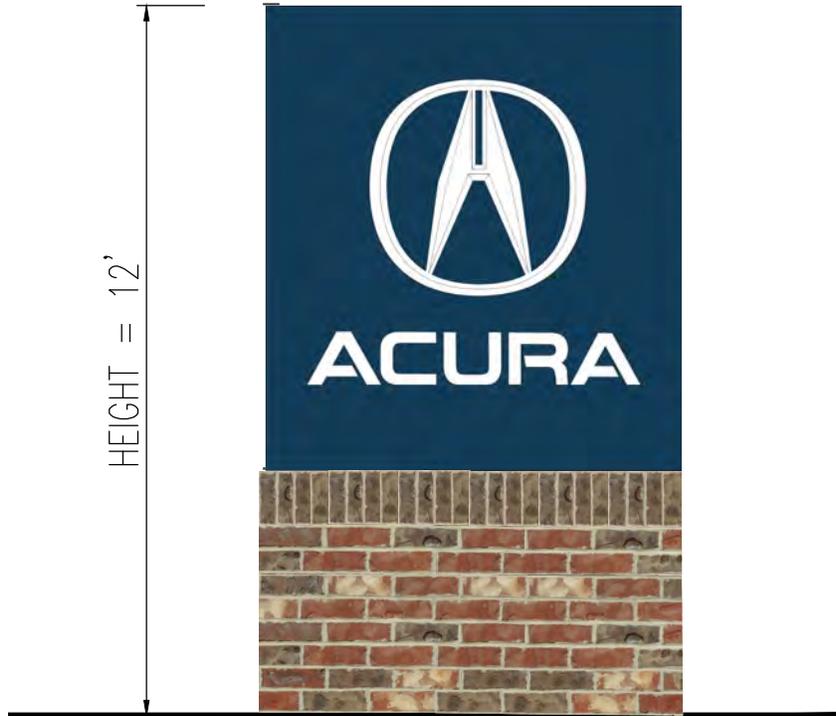
Azalea – *Rhododendron sp.*  
Abelia – *Abelia x grandiflora*  
Barberry – *Berberis thunbergii 'atropurpurea'*  
Butterfly Iris – *Dietes grandiflora*  
Dwarf Wax Myrtle – *Myrica cerifera var. pumila*  
Dwarf Pittosporum – *Pittosporum tobira wheeleri*  
Fatsia – *Fatsia japonica*  
Fringe Flower – *Loropetalum chinense*  
Hollies – *Hollies sp.*  
Indian Hawthorne – *Raphiolepis indica*  
Muhly Grass – *Muhlenbergia sp.*  
Nandina – *Nandina sp.*  
Pigmy Date Palm – *Phoenix roebelenii*  
Pindo Palm – *Butia capitata*  
Rosemary – *Rosmarinus officinalis*  
Sago Palm – *Cycas revoluta*  
Variegated Pittosporum – *Pittosporum tobira variegata*

### Vines

Algerian Ivy – *Hedera canariensis*  
Carolina Jessamine – *Gelsemium sempervirens*  
Climbing Fig – *Ficus pumila*  
Confederate Star Jasmine – *Trachelospermum jasminoides*  
English Ivy – *Hedera helix*  
Honeysuckle – *Lonicera sp.*  
Trumpet Creeper – *Campsis radicans*  
Wisteria – *Wisteria sp.*

### Groundcovers

Ajuga – *Ajuga reptans*  
Algerian Ivy – *Hedera canariensis*  
Asian Jasmine – *Trachelospermum asiaticum*  
Boston Fern – *Nephrolepis exaltata*  
Daylily – *Hemerocallis sp.*  
English Ivy – *Hedera helix*  
Holly Fern – *Cyrtomium falcatum*  
Honeysuckle – *Lonicera sp.*  
Katie Ruellia – *Ruellia brittoniana 'Katie'*  
Knockout Rose – *Rosa sp.*  
Lamb's Ear – *Stachys byzantina*  
Liriope/Variegated Liriope – *Liriope muscari/'variegata'*  
Monkey Grass – *Ophiopogon japonica*  
New Gold Lantana – *Lantana sp.*  
Society Garlic – *Tulbaghia violacea*  
Wood Fern – *Dryopteris sp.*



**US 59**



**ADDISON AVENUE**

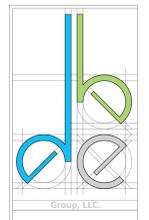
**EXHIBIT B-5:**  
**FREESTANDING SIGN**  
**ELEVATIONS**

NOT TO SCALE

STERLING McCALL ACURA OF SUGAR LAND

**D** **DYNAMIC**  
**ENGINEERING**  
(dba) MIDWEST DYNAMIC ENGINEERING CONSULTANTS, PC

Texas Registered Engineering Firm No. F-13660  
14521 Old Katy Road - Suite 250  
Houston, TX 77079  
T: 281.789.6400  
www.dynamicec.com



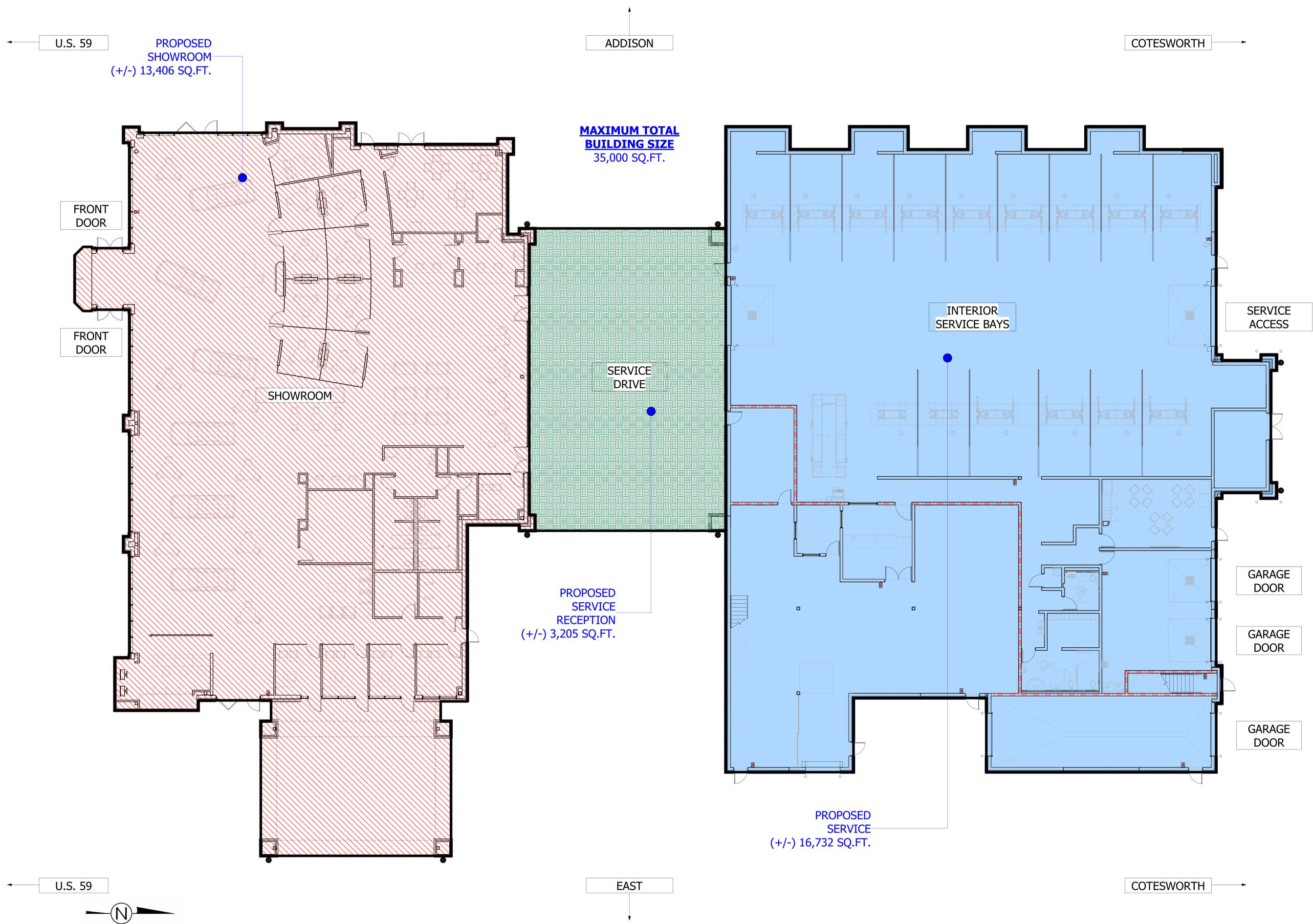
Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX  
 Project Information :  
 Project Number : 2013-011  
 Drawn By : BEJ  
 Checked By : OBE  
 Approved By : OBE

**Sterling McCall Acura of Sugar Land**  
 14111 Highway 29  
 City of Sugar Land, Fort Bend County, TX

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Rev	Date	Comments

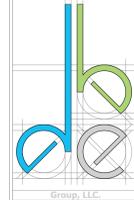
Signed & Sealed :  
 Sheet Title :  
**Exhibit B-6 - Building Floor Plan**  
 Sheet Number :  
**B-6**



**Scale: 1/8" = 1'-0"**

**Exhibit B-6 : Building Floor Plan**

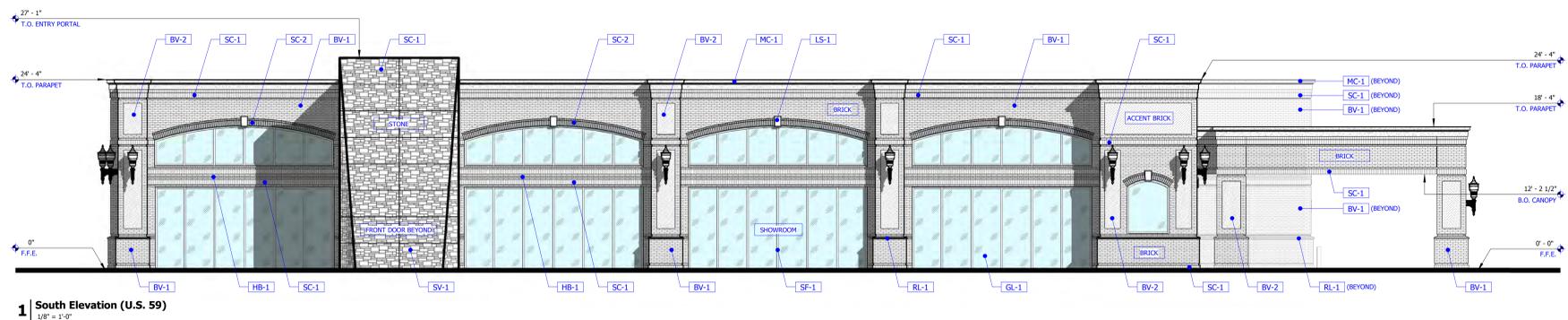
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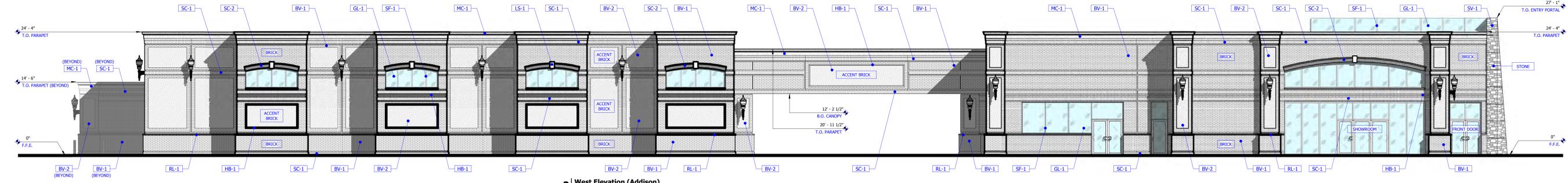
Client: Group 1 Automotive  
 500 Gessner Houston, TX  
 Project Information:  
 Project Number: 2013-011  
 Drawn By: Author  
 Checked By: Checker  
 Approved By: Approver

**FINISH PERCENTAGES BY ELEVATION: SOUTH**

• BRICK VENEER (BV-1, BV-2, HB-1 & RL-1)	34.40%	(1,208 SQFT)
• BRICK VENEER (SC-1)	10.45%	(368 SQFT)
• BRICK VENEER (SC-2)	2.42%	(85 SQFT)
• LIMESTONE KEYSTONE (LS-1)	0.17%	(6 SQFT)
• CULTURED VENEER STONE (SV-1)	11.69%	(406 SQFT)
• GLASS (GL-1)	35.21%	(1,235 SQFT)
• MISCELLANEOUS (SECONDARY FINISHES)	5.66%	(200 SQFT)
<b>TOTAL WALL AREA OF THIS ELEVATION:</b> 3,508 SQFT		
<b>TOTAL PERCENTAGE OF PRIMARY FINISHES:</b> 94.34%		



**1 South Elevation (U.S. 59)**  
 1/8" = 1'-0"



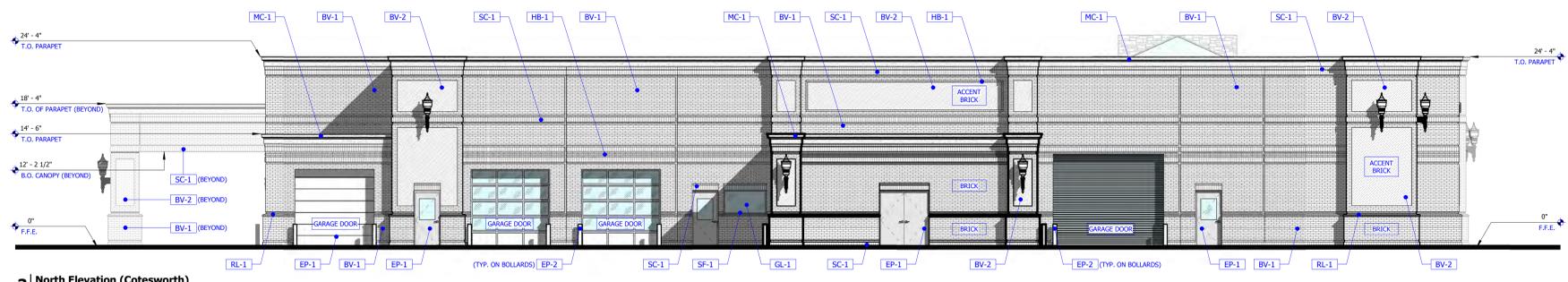
**2 West Elevation (Addison)**  
 1/8" = 1'-0"

**FINISH PERCENTAGES BY ELEVATION: WEST**

• BRICK VENEER (BV-1, BV-2, HB-1 & RL-1)	66.42%	(3,991 SQFT)
• BRICK VENEER (SC-1)	12.61%	(758 SQFT)
• BRICK VENEER (SC-2)	0.98%	(59 SQFT)
• LIMESTONE KEYSTONE (LS-1)	0.01%	(6 SQFT)
• CULTURED VENEER STONE (SV-1)	1.35%	(81 SQFT)
• GLASS (GL-1)	12.71%	(764 SQFT)
• MISCELLANEOUS (SECONDARY FINISHES)	5.83%	(350 SQFT)
<b>TOTAL WALL AREA OF THIS ELEVATION:</b> 6,009 SQFT		
<b>TOTAL PERCENTAGE OF PRIMARY FINISHES:</b> 94.17%		

**FINISH PERCENTAGES BY ELEVATION: NORTH**

• BRICK VENEER (BV-1, BV-2, HB-1 & RL-1)	65.32%	(2,460 SQFT)
• BRICK VENEER (SC-1)	14.66%	(552 SQFT)
• BRICK VENEER (SC-2)	0.00%	(0 SQFT)
• LIMESTONE KEYSTONE (LS-1)	0.00%	(0 SQFT)
• CULTURED VENEER STONE (SV-1)	0.00%	(0 SQFT)
• GLASS (GL-1)	7.78%	(293 SQFT)
• MISCELLANEOUS (SECONDARY FINISHES)	12.24%	(461 SQFT)
<b>TOTAL WALL AREA OF THIS ELEVATION:</b> 3,766 SQFT		
<b>TOTAL PERCENTAGE OF PRIMARY FINISHES:</b> 87.76%		



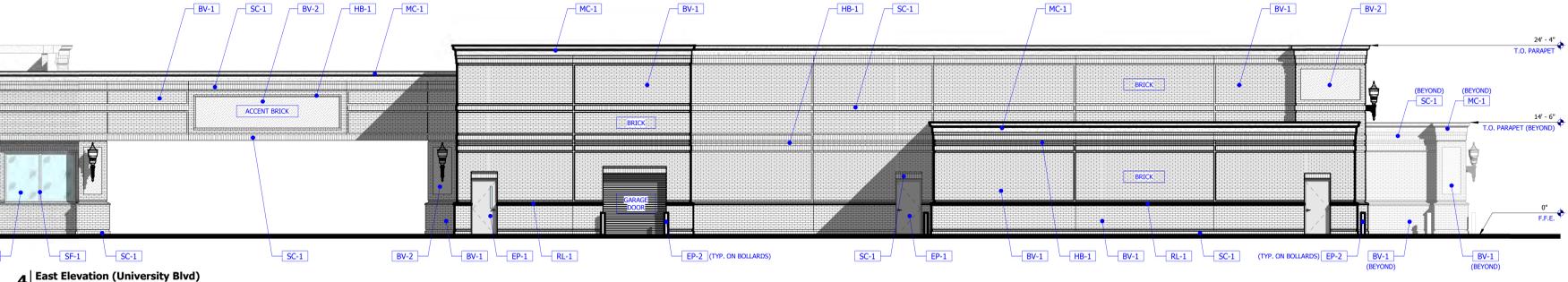
**3 North Elevation (Cotesworth)**  
 1/8" = 1'-0"

**FINISH PERCENTAGES BY ELEVATION: EAST**

• BRICK VENEER (BV-1, BV-2, HB-1 & RL-1)	64.75%	(3,958 SQFT)
• BRICK VENEER (SC-1)	14.56%	(890 SQFT)
• BRICK VENEER (SC-2)	0.16%	(10 SQFT)
• LIMESTONE KEYSTONE (LS-1)	0.01%	(1 SQFT)
• CULTURED VENEER STONE (SV-1)	1.33%	(81 SQFT)
• GLASS (GL-1)	9.38%	(561 SQFT)
• MISCELLANEOUS (SECONDARY FINISHES)	10.01%	(612 SQFT)
<b>TOTAL WALL AREA OF THIS ELEVATION:</b> 6,113 SQFT		
<b>TOTAL PERCENTAGE OF PRIMARY FINISHES:</b> 89.99%		

**FINISH PERCENTAGES BY ELEVATION: NORTH**

• BRICK VENEER (BV-1, BV-2, HB-1 & RL-1)	65.32%	(2,460 SQFT)
• BRICK VENEER (SC-1)	14.66%	(552 SQFT)
• BRICK VENEER (SC-2)	0.00%	(0 SQFT)
• LIMESTONE KEYSTONE (LS-1)	0.00%	(0 SQFT)
• CULTURED VENEER STONE (SV-1)	0.00%	(0 SQFT)
• GLASS (GL-1)	7.78%	(293 SQFT)
• MISCELLANEOUS (SECONDARY FINISHES)	12.24%	(461 SQFT)
<b>TOTAL WALL AREA OF THIS ELEVATION:</b> 3,766 SQFT		
<b>TOTAL PERCENTAGE OF PRIMARY FINISHES:</b> 87.76%		



**4 East Elevation (University Blvd)**  
 1/8" = 1'-0"



**BV-1, BV-2, HB-1, RL-1**



**SC-1**



**SC-2**



**LS-1**



**SV-1**

**FINISH LEGEND - ELEVATIONS**

FINISH TAG	MATERIAL TYPE	MANUFACTURE	PRODUCT	NAME / COLOR	NUMBER	SIZE / TYPE	PATTERN / SHEEN	COMMENTS
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS	SEE SPECS	BLACK FOX	SW 7020	SEE SPECS	SEE SPECS	HOLLOW METAL DOORS AND FRAMES
EP-2	EXTERIOR PAINT	SHERWIN WILLIAMS	SEE SPECS	SAFETY YELLOW	SW 4084	SEE SPECS	SEE SPECS	ON BOLLARDS
MC-1	PRE-FINISHED METAL COPING	METAL-ERA	CREATIVE DESIGN SERIES	DARK BRONZE	---	SEE DETAILS	---	---
BV-1	BRICK VENEER	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	RUNNING BOND	LIGHT GRAY MOTOR
BV-2	BRICK VENEER (ACCENT)	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	RUNNING BOND	LIGHT GRAY MOTOR
SC-1	BRICK VENEER	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	SOLDIER COURSE	LIGHT GRAY MOTOR
SC-2	BRICK VENEER (ACCENT)	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	SOLDIER COURSE	LIGHT GRAY MOTOR - <b>USE DARK BRICK ONLY</b>
HB-1	BRICK VENEER	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	HEADER COURSE	LIGHT GRAY MOTOR
RL-1	BRICK VENEER	INTERSTATE BRICK	2-1/4" MODULAR BRICK	CHARLESTON	---	STANDARD BRICK	ROWLOCK COURSE	LIGHT GRAY MOTOR
LS-1	LIMESTONE KEYSTONE	CORONADO	CHISELED STONE KEYSTONE	LIMPOC	---	---	---	---
SV-1	CULTURED VENEER STONE	ELDORADO STONE, INC.	WESTERN REGIONAL STONE	CUT COARSE STONE / OYSTER	---	---	---	DRY STACK W/ LIGHT GRAY MORTAR
SF-1	STOREFRONT FRAMING & C.W.	KAWNEER	TRIFAB 451T / 1600	BRONZE ANODIZED ALUM.	---	---	---	---
GL-1	GLASS	PPG	SOLARBAN 70XL	LOW E GLASS	---	1" INSULATING	CLEAR	SHGC 0.19-0.27 U-VALUE 0.26 (S) 0.28 (W)

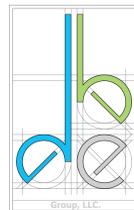
**Scale: 1/8" = 1'-0"**

**Exhibit B-7 : Building Elevations**

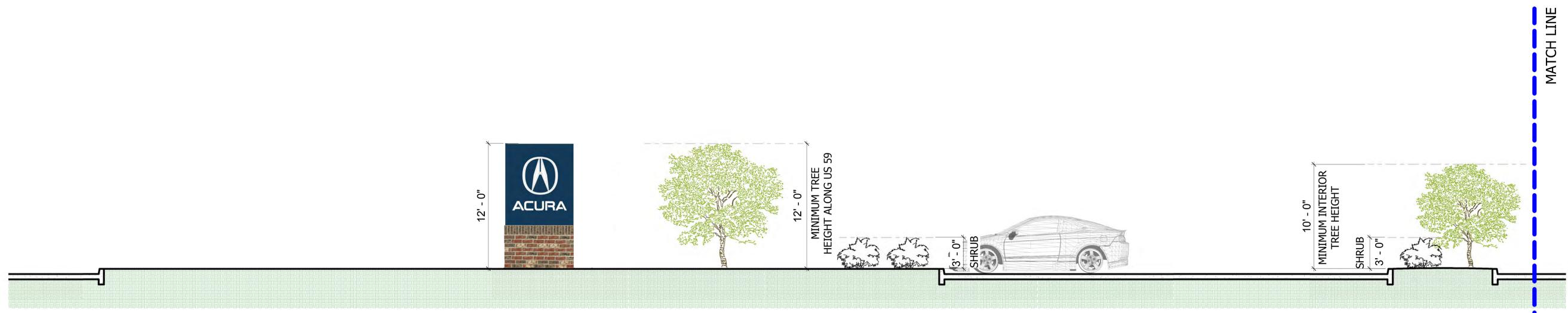
Sterling McCall Acura of Sugar Land  
 2013-011  
 City of Sugar Land, Fort Bend County, TX

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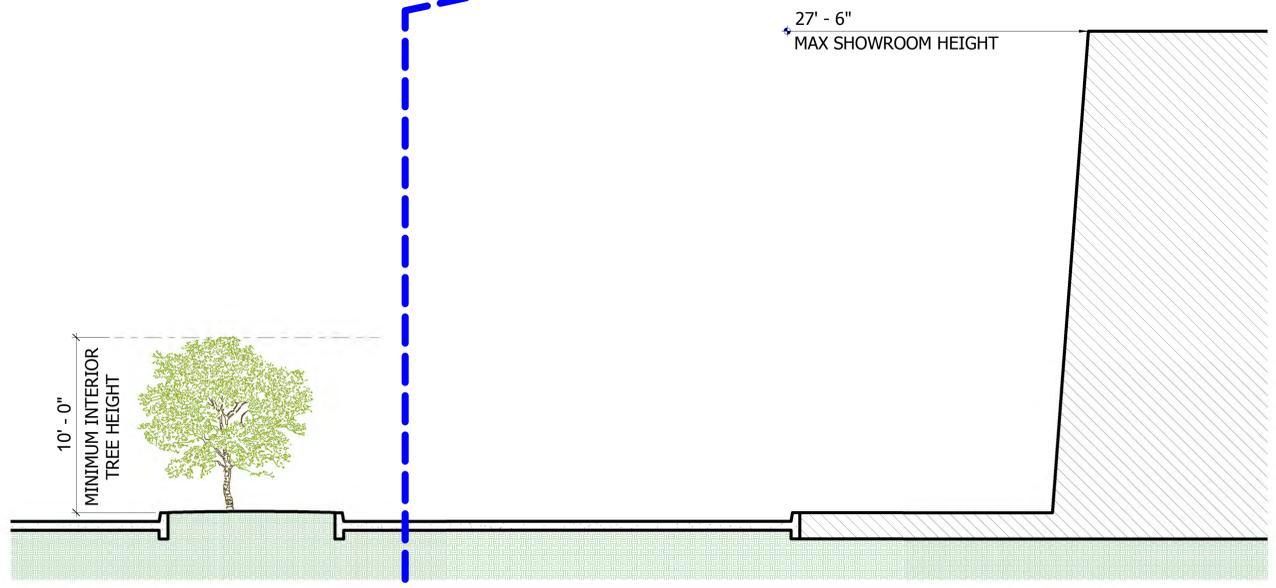
Signed & Sealed:  
 Sheet Title:  
 Exhibit B-7 - Building Elevations  
 Sheet Number:  
 B-7



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX  
 Project Information :  
 Project Number : 2013-011  
 Drawn By : Author  
 Checked By : Checker  
 Approved By : Approver



**1 | Planting Height at US 59**  
 1/4" = 1'-0"



**2 | Planting Height at Interior Island**  
 1/4" = 1'-0"

**Scale: 1/4" = 1'-0"**

**Exhibit B-8 : Planting Height Diagram - US 59**

**Sterling McCall Acura of Sugar Land**  
 Acura of Sugar Land & US Highway 59  
 City of Sugar Land, Fort Bend County, TX

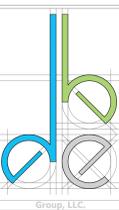
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Rev	Date	Comments



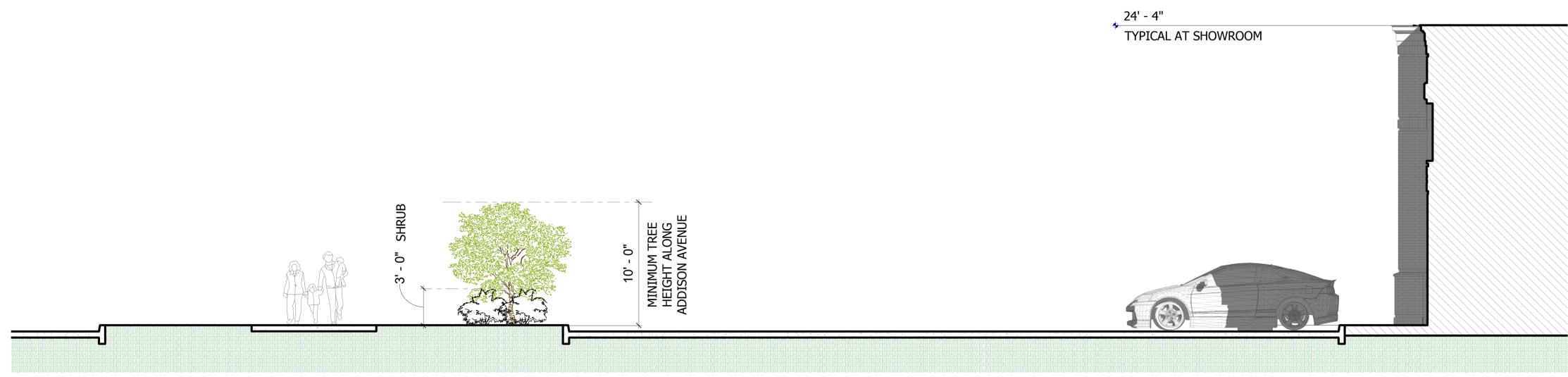
Signed & Sealed :  
 Sheet Title :  
**Exhibit B-8 - Planting Height Diagram - US 59**  
 Sheet Number :  
**B-8**

not released for construction



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX

Project Information :  
 Project Number : 2013-011  
 Drawn By : Author  
 Checked By : Checker  
 Approved By : Approver



**1** | Planting Height at Addison Avenue  
 1/4" = 1'-0"

**Sterling McCall Acura of Sugar Land**  
 Sterling McCall Acura of Sugar Land & US Highways  
 City of Sugar Land, Fort Bend County, TX

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Rev	Date	Comments



Signed & Sealed :  
 Sheet Title :  
**Exhibit B-9 - Planting Height Dia. - Addison Ave.**  
 Sheet Number :  
**B-9**

**Scale: 1/4" = 1'-0"**

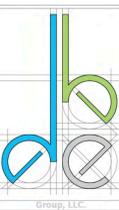
**Exhibit B-9 : Planting Height Diagram - Addison Avenue**

not released for construction



- ① CONCRETE SIDEWALK
- ② STAMPED CONCRETE
- ③ CONCRETE PARKING LOT
- ④ INTERLOCKING PAVERS
- ⑤ BRICK VENEER : "BV-1, BV-2, SC-1, HB-1, RL-1"
- ⑥ LIMESTONE KEYSTONE : "LS-1"
- ⑦ CULTURED VENEER STONE : "SV-1"

**Exhibit B-10: Bird's Eye View from US 59 & Addison Avenue**



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX

Project Information :  
 Project Number : 2013-011  
 Examined By : Author  
 Checked By : Checker  
 Approved By : Approver

**Sterling McCall Acura of Sugar Land**  
 14141 US Highway 59  
 City of Sugar Land, Fort Bend County, TX

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Rev	Date	Comments

Signed & Sealed :  
 Sheet Title :  
**Bird's Eye View from US 59 & Addison Avenue**  
 Sheet Number :  
**B-10**

not released for construction



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX  
 Project Information :  
 Project Number : 2013-011  
 Exam By : Author  
 Checked By : Checker  
 Approved By : Approver

**Sterling McCall Acura of Sugar Land**  
 10000 US Highway 59  
 City of Sugar Land, Fort Bend County, TX

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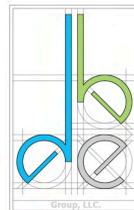
Rev	Date	Comments

Signed & Sealed :  
 Sheet Title :  
**Elevated Bird's Eye View from US 59 & Addison Ave**  
 Sheet Number :  
**B-11**

- ① CONCRETE SIDEWALK
- ② STAMPED CONCRETE
- ③ CONCRETE PARKING LOT
- ④ INTERLOCKING PAVERS
- ⑤ BRICK VENEER : "BV-1, BV-2, SC-1, HB-1, RL-1"
- ⑥ LIMESTONE KEYSTONE : "LS-1"
- ⑦ CULTURED VENEER STONE : "SV-1"

**Exhibit B-11: Elevated Bird's Eye View from US 59 & Addison Avenue**

not released for construction



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX

Project Information :  
 Project Number : 2013-011  
 Exam By : Author  
 Checked By : Checker  
 Approved By : Approver



**Sterling McCall Acura of Sugar Land**  
 14145 Addis Road, Suite 100  
 City of Sugar Land, Fort Bend County, TX

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Rev	Date	Comments

Signed & Sealed :  
 Sheet Title :  
**Bird's Eye View of Addison & Cotesworth Ave.**  
 Sheet Number :  
**B-12**

- ① CONCRETE SIDEWALK
- ② STAMPED CONCRETE
- ③ CONCRETE PARKING LOT
- ④ INTERLOCKING PAVERS
- ⑤ BRICK VENEER : "BV-1, BV-2, SC-1, HB-1, RL-1"
- ⑥ LIMESTONE KEYSTONE : "LS-1"
- ⑦ CULTURED VENEER STONE : "SV-1"

**Exhibit B-12: Bird's Eye View from Addison & Cotesworth Avenues**

not released for construction



Client :  
**Group 1 Automotive**  
 500 Gessner  
 Houston, TX

Project Information :  
 Project Number : 2013-011  
 Drawn By : Author  
 Checked By : Checker  
 Approved By : Approver



**Sterling McCall Acura of Sugar Land**  
 10000 Westpark Dr. #100  
 Sugar Land, TX 77478  
 City of Sugar Land, Fort Bend County, TX

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Rev	Date	Comments



Signed & Sealed :  
 Sheet Title :  
**Eye Level Perspectives**  
 Sheet Number :  
**B-13**

# Exhibit B-13: Eye Level Perspectives

not released for construction



**Administrative Amendment to a Planned Development District  
Authorized Under Development Code, Chapter 2, Article II, Part 16, Section 2-177**

<b>PD Amendment Information:</b>	
PD Name	Acura Sugar Land
PD Ordinance Number	Ordinance No. 2056
Date of Ordinance Adoption:	June 21, 2016
Classification	Administrative Amendment No. 1
Purpose of Administrative Amendment	To revise the freestanding sign elevations to add an angular wing on the right side of the Acura symbol. This wing will be contained within the brick base of the sign. The sign elevations are generally in conformance with the PD's intent and proposed sizes, materials, and colors of the signs are in conformance with the recorded PD.
Initiated by:	Developer
Affected Ordinance Exhibits	Exhibit B-5 and Exhibit B-8
Planning Case No.	14- 21000011 and 18-75000003

A handwritten signature in cursive script, appearing to read "Lisa Kocich-Meyer".

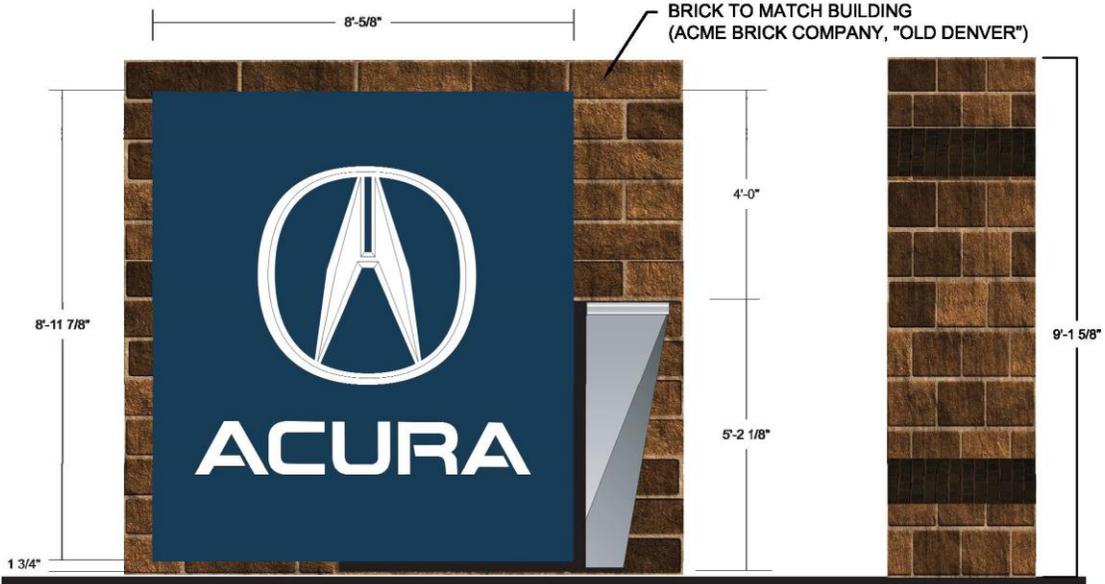
**Lisa Kocich-Meyer, AICP  
Director of Planning**

December 18, 2018

**Attachments:**

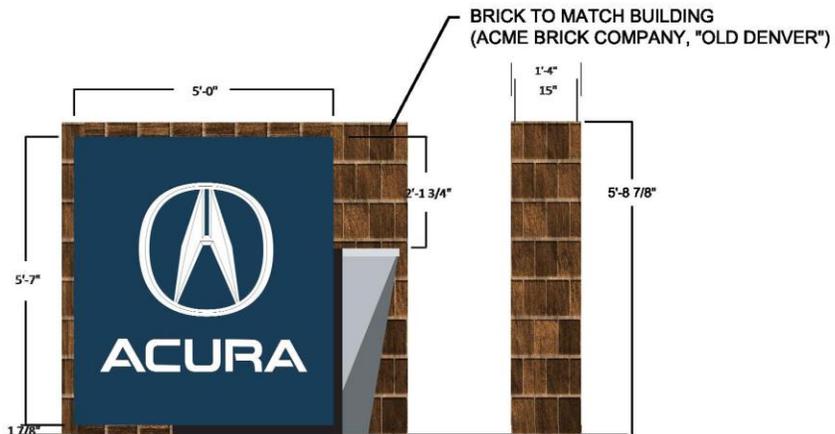
Revised Exhibit B-5 and Exhibit B-8

**75 SQFT MONUMENT @ 9ft 1 5/8in**



US 59

**ACURA Monument 5x5 - 30 sqft @ 5ft 8 7/8in**



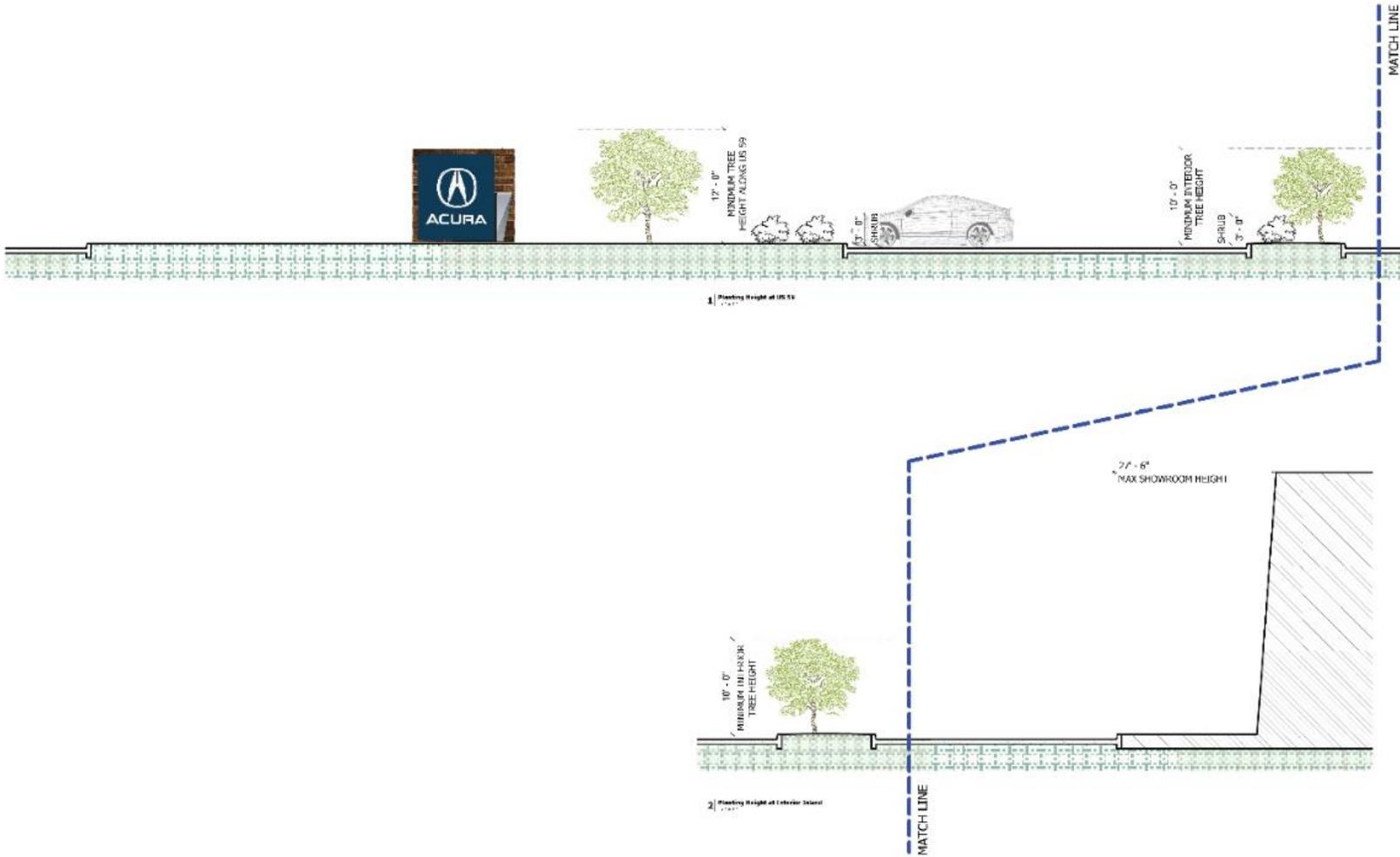
ADDISON AVENUE



**AYER DESIGN GROUP**  
 PROFESSIONAL ENGINEERING SERVICES  
 1314 Avenue A, Suite A  
 Katy, TX 77493  
 Phone: 832-349-4018  
 TBPE FIRM #F-16708

**EXHIBIT B-5:  
 FREESTANDING SIGN  
 ELEVATIONS**

NOT TO SCALE



Scale: 1/4" = 1'-0"

Exhibit B-8 : Planting Height Diagram - US 59



City of Sugar Land  
15000 West Loop South  
Sugar Land, TX 77479  
713.261.1000  
www.sugarlandtx.gov

Sterling McCall Acura of Sugar Land  
City of Sugar Land, Texas  
City of Sugar Land, Texas

NO.	DATE	DESCRIPTION



DMH D-6  
Drawing Height  
Diagrams - US 59  
B-8