

ORDINANCE NO. 2098

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SUGAR LAND, TEXAS, AMENDING THE HOLY CROSS EPISCOPAL CHURCH PLANNED DEVELOPMENT (PD) DISTRICT FINAL DEVELOPMENT PLAN, CONSISTING OF 17.76 ACRES OF LAND LOCATED AT THE NORTHEAST CORNER OF WEST RIVERPARK DRIVE AND WIMBERLY CANYON DRIVE; RE-ADOPTING THE FINAL DEVELOPMENT PLAN FOR THE ENTIRE PLANNED DEVELOPMENT; AND REPEALING ORDINANCE NO. 1958.

WHEREAS, by the adoption of Ordinance 1958 on May 20, 2014 the City Council approved a change of zoning to create a planned development district (PD) for approximately 17.76 acres of land located at the northeast corner of West Riverpark Drive and Wimberly Canyon Drive and approved a final development plan for the PD district; and

WHEREAS, on May 3, 2016, City Council granted a two-year extension of time for the Holy Cross Episcopal Church PD Final Development Plan District; and

WHEREAS, Holy Cross Episcopal Church has requested an amendment to the Holy Cross Episcopal Church PD Final Development Plan District; and

WHEREAS, the City Planning and Zoning Commission forwarded its final report to the City Council, recommending approval of the amendment; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning amendment; and

WHEREAS the City Planning and Zoning Commission recommended granting such requested zoning amendment; and

WHEREAS, the City Council finds that the zoning amendment request complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; and

WHEREAS, for convenience of reference, the City Council wishes to adopt a new final development plan for the entire PD; NOW, THEREFORE:

**BE IT ORDAINED BY THE CITY COUNCIL
OF THE CITY OF SUGAR LAND, TEXAS:**

Section 1. That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

Section 2. That Final Development Plan shown in Exhibit B is approved.

Section 3. That the following Exhibits are attached to and incorporated into this ordinance:

- Exhibit A – Metes and Bounds Legal Description of 17.76 acres
- Exhibit B – Final Development Plan
- Exhibit C-1 – Building Orientation/Conceptual Location of Buildings, Parking, Vehicular/Pedestrian Access, and Landscaping
- Exhibit C-2 – Lot Layout
- Exhibit C-3 – Building Elevations, Relative Building Height, Key Site Features

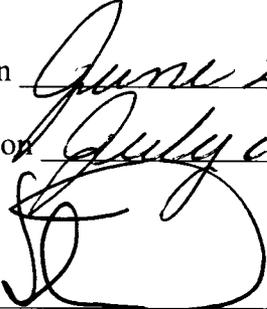
- Exhibit C-4 – Bulk Plane
- Exhibit D – Permitted Use List
- Exhibit E – Plant List

Section 4. That the City's official zoning map be amended to reflect this change in zoning district classification.

Section 5. That Ordinance number 1958 is repealed.

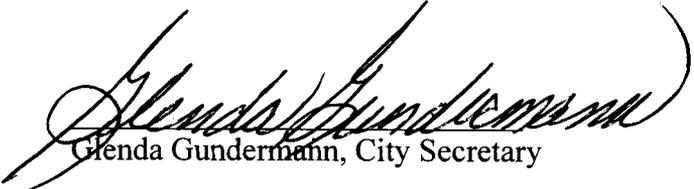
READ IN FULL on first consideration on June 20, 2017.

APPROVED upon second consideration on July 05, 2017.



Joe R. Zimmerman, Mayor

ATTEST:


Glenda Gundermann, City Secretary

APPROVED AS TO FORM:



- Attachment:
- Exhibit A – Metes and Bounds Legal Description of 17.76 acres
 - Exhibit B – Final Development Plan
 - Exhibit C-1 – Building Orientation/Conceptual Location of Buildings, Parking, Vehicular/Pedestrian Access, and Landscaping
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 - Exhibit C-3 – Building Elevations, Relative Building Height, Key Site Features
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 - Exhibit D – Permitted Use List
 - Exhibit E – Plant List

Exhibit A

EXHIBIT "A"
METES AND BOUNDS DESCRIPTION OF 17.76 ACRES

DESCRIPTION OF A 17.76 ACRE TRACT OF LAND SITUATED IN
THE JOSEPH KUYKENDALL SURVEY, A-49
CITY OF SUGAR LAND, FORT BEND COUNTY, TEXAS

BEING a 17.76 acre tract of land situated in the Joseph Kuykendall Survey, Abstract No. 49, City of Sugar Land, Fort Bend County, Texas, being part of a called 26.91 acre tract described as Tract "A" of Holy Cross Episcopal Church and School as shown on the plat recorded on Slide No. 1894B of the Fort Bend County Plat Records (F.B.C.P.R.), said 17.76 acre tract being more particularly described by metes and bounds as follows:

Bearing orientation is based on found monumentation for the north right-of-way of West Riverpark Drive as recorded on Slide No. 1622A of the Fort Bend County Plat Records and held as N 81°04'04" W, 134.70'.

BEGINNING at a 5/8-inch iron rod with cap stamped BROWN & GAY found for the most southerly Southwest corner of said Holy Cross Episcopal Church and School and being in the Northern right-of-way line of West Riverpark Drive (width varies) as shown on the plat recorded on Slide No. 1622A of the F.B.C.P.R., said corner being the beginning of a curve to the right from which its center bears N 05° 37' 15" W, 25.00 feet;

THENCE in a Northwesterly direction with the Northern right-of-way line of said West Riverpark Drive, 37.87 feet along the arc of said curve to the right having a radius of 25.00 feet, a central angle of 86° 47' 08" and whose chord bears N 52° 13' 41" W, 34.35 feet to a 5/8-inch iron rod with cap stamped BROWN & GAY found for the most westerly Southwest corner of the herein described tract and being in the Eastern right-of-way line of Wimberly Canyon Drive (70-foot width) as shown on the plat recorded on Slide No. 1812B of the F.B.C.P.R.;

THENCE N 08° 50' 07" W, a distance of 431.68 feet along said Eastern right-of-way line to the most westerly corner of said Tract "A" and the Southwest corner of Tract "C", Block 1 of RIVERPARK SECTION FIVE as shown on the plat recorded on Slide 1812B of the F.B.C.P.R.;

THENCE leaving said Eastern right-of-way line and along the lines common to said Tract "A" and said RIVERPARK SECTION FIVE the following two (2) courses and distances:

N 81° 09' 53" E, 97.81 feet to an angle point;

N 36° 24' 52" E, 1,161.03 feet to the Northeast corner of said RIVERPARK SECTION FIVE and the Northwest corner of said Tract "A" and being in a Southern line of a called 13.930 acre tract described and recorded under Fort Bend County Clerk's File Number (F.B.C.C.F. No.) 9641646;

THENCE S 52° 04' 13" E, a distance of 450.16 feet along the line common to said Tract "A" and said 13.930 acre tract to the Northeast corner of the herein described tract;

THENCE leaving said common line and going over and across said Tract "A" the following five (5) courses:

S 36° 24' 52" W, 732.45 feet to a 1/2-inch iron pipe with cap stamped BROWN & GAY set for corner of the herein described tract, said corner being the beginning of a non-tangent curve to the right from which its center point bears S 36° 24' 52" W, 50.00 feet;

EXHIBIT "A"
METES AND BOUNDS DESCRIPTION OF 17.76 ACRES

In a Southwesterly direction, 106.54 feet along the arc of said curve to the right, having a radius of 50.00 feet, a central angle of 122° 05' 18" and a chord which bears S 07° 27' 31" W, 87.50 feet to a 1/2-inch iron pipe with cap stamped BROWN & GAY set for corner;

S 09° 49' 45" E, 264.77 feet to a 1/2-inch iron pipe with cap stamped BROWN & GAY set for the point of curvature of a curve to the right;

In a Southwesterly direction, 58.42 feet along the arc of said curve to the right, having a radius of 100.00 feet, a central angle of 33° 28' 11" and a chord which bears S 06° 54' 20" W, 57.59 feet to a 1/2-inch iron pipe with cap stamped BROWN & GAY set for the point of tangency;

S 23° 38' 25" W, 220.84 feet to a 1/2-inch iron pipe with cap stamped BROWN & GAY set for the Southeast corner of the herein described tract and being in the Northern right-of-way line of said West Riverpark Drive, said corner being the beginning of a non-tangent curve to the left from which its center bears S 24° 58' 01" W, 1,063.00 feet;

THENCE in a Northwesterly direction with said Northern right-of-way line, 15.06 feet along the arc of said curve to the left having a radius of 1,063.00 feet, a central angle of 00° 48' 43" and whose chord bears N 65° 26' 21" W, 15.06 feet to a 5/8-inch iron rod found for the point of compound curvature;

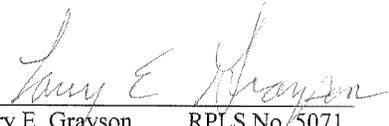
THENCE in a Northwesterly direction continuing along said Northern right-of-way line, 146.13 feet along the arc of a curve to the left having a radius of 550.00 feet, a central angle of 15° 13' 22" and whose chord bears N 73° 27' 23" W, 145.70 feet to a 5/8-inch iron rod found for the point of tangency;

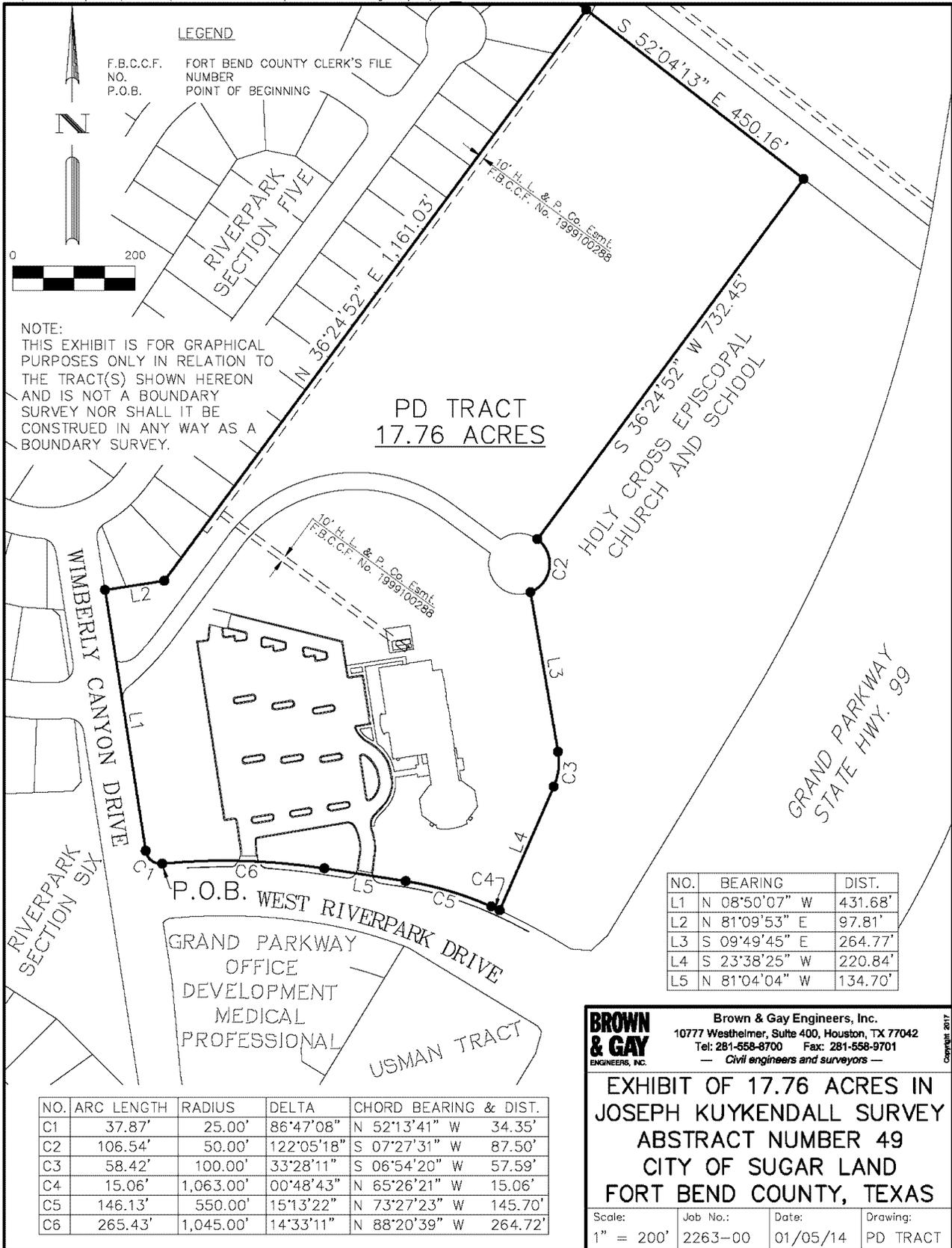
THENCE N 81° 04' 04" W, a distance of 134.70 feet continuing along said Northern right-of-way line to a 5/8-inch iron rod with cap stamped BROWN & GAY found for the point of curvature of a curve to the left;

THENCE in a Northwesterly direction continuing along said Northern right-of-way line, 265.43 feet along the arc of said curve to the left having a radius of 1,045.00 feet, a central angle of 14° 33' 11" and whose chord bears N 88° 20' 39" W, 264.72 feet to the **POINT OF BEGINNING** and containing 17.76 acres of land.

This metes and bounds description was prepared under 22 Texas Annotated Code # 663.21 and reflects the results of the assembly of instruments of record to describe the political boundary limits of the herein described tract and is not to be used to convey or establish interests in real property except those rights and interest implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.




Larry E. Grayson RPLS No. 5071
Brown & Gay Engineers, Inc.
10777 Westheimer Road, Suite 400
Houston, Texas 77042
Telephone: (281) 558-8700
TBPLS Licensed Surveying Firm No. 10106500



LEGEND

F.B.C.C.F. NO. FORT BEND COUNTY CLERK'S FILE NUMBER
 P.O.B. POINT OF BEGINNING

NOTE:
 THIS EXHIBIT IS FOR GRAPHICAL PURPOSES ONLY IN RELATION TO THE TRACT(S) SHOWN HEREON AND IS NOT A BOUNDARY SURVEY NOR SHALL IT BE CONSTRUED IN ANY WAY AS A BOUNDARY SURVEY.

PD TRACT
 17.76 ACRES

NO.	BEARING	DIST.
L1	N 08°50'07" W	431.68'
L2	N 81°09'53" E	97.81'
L3	S 09°49'45" E	264.77'
L4	S 23°38'25" W	220.84'
L5	N 81°04'04" W	134.70'

NO.	ARC LENGTH	RADIUS	DELTA	CHORD BEARING & DIST.
C1	37.87'	25.00'	86°47'08"	N 52°13'41" W 34.35'
C2	106.54'	50.00'	122°05'18"	S 07°27'31" W 87.50'
C3	58.42'	100.00'	33°28'11"	S 06°54'20" W 57.59'
C4	15.06'	1,063.00'	00°48'43"	N 65°26'21" W 15.06'
C5	146.13'	550.00'	15°13'22"	N 73°27'23" W 145.70'
C6	265.43'	1,045.00'	14°33'11"	N 88°20'39" W 264.72'

BROWN & GAY ENGINEERS, INC.
 Brown & Gay Engineers, Inc.
 10777 Westheimer, Suite 400, Houston, TX 77042
 Tel: 281-558-8700 Fax: 281-558-9701
 — Civil engineers and surveyors —

EXHIBIT OF 17.76 ACRES IN
 JOSEPH KUYKENDALL SURVEY
 ABSTRACT NUMBER 49
 CITY OF SUGAR LAND
 FORT BEND COUNTY, TEXAS

Scale: 1" = 200'	Job No.: 2263-00	Date: 01/05/14	Drawing: PD TRACT
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EXHIBIT B
FINAL DEVELOPMENT PLAN
Holy Cross Episcopal Church Planned Development

A. Contents. This Final Development Plan contains the following sections:

1. General Provisions
2. Land Uses
3. Development Regulations
4. Landscape, Bicycle, and Pedestrian Circulation Regulations
5. Building Regulations
6. Additional Regulations
7. Exhibits
 - a. Exhibit A, *Metes and Bounds Description of 17.76 Acres*
 - b. Exhibit B, *Text of Final Development Plan (this Exhibit)*
 - c. Exhibits C-1 through C-4
 - i. C-1, *Final Development Plan – Building Orientation /Conceptual Location of Buildings, Parking, Vehicular/Pedestrian Access, Landscaping*
 - ii. C-2, *Final Development Plan – Lot Layout*
 - iii. C-3, *Final Development Plan – Building Elevations, Relative Building Height, Key Site Features*
 - iv. C-4, *Final Development Plan – Bulk Plane*
 - d. Exhibit D, *Final Development Plan – Permitted Use List*
 - e. Exhibit E, *Final Development Plan – Plant List*

B. General Provisions.

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a B-O (Business Office) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the B-O zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this Final Development Plan have the meaning established by the Development Code. In this ordinance:

Open Space means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

PD means the planned development district created by this ordinance.

Pavers mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

Drop-off means a traffic lane where vehicles stop temporarily to allow passengers, belongings, and/or services to be delivered to the premises. The term does not include retail drive-thru lanes.

3. The PD is divided into two tracts, Site A and Site B, with an internal private access easement.

C. Land Uses. Permitted land uses for the PD are listed in Exhibit D, *Final Development Plan - Permitted Use List*.

D. Development Regulations. Sites within the PD shall be developed in accordance with the following development regulations.

1. Maximum height of structures on Site B is one story or 35 feet as defined under the City of Sugar Land Development Code. On Site B, within a 120 foot wide strip adjacent to the residential area to the west - maximum height of structures is 27 feet as measured from the finished grade to the roof peak, as further specified in Exhibit C-4, *Final Development Plan - Bulk Plane*.
2. Chimneys, church steeples, ornamental spires, cooling towers, elevator bulkheads, roof gables, and mechanical equipment may extend an additional height not to exceed 15 feet above the maximum height allowed for the structure to which it is affixed. This subsection applies only to Site A.
3. Minimum building setbacks for Site A:
 - a. Abutting the private access easement: 25 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 25 feet as measured from the property line
 - c. Abutting West River Park Drive: 25 feet as measured from the property line
 - d. Abutting Wimberly Canyon Drive: 25 feet as measured from the property line
 - e. Abutting the residential area to the west: 40 feet as measured from the property line
4. Minimum building setbacks for Site B:
 - a. Abutting the private access easement: 25 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 25 feet as measured from the property line
 - c. Abutting the levee area: 25 feet as measured from the property line
 - d. Abutting the residential area to the west: 40 feet as measured from the property line
5. Minimum parking lot setbacks for Site A:
 - a. Abutting the private access easement: 10 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 10 feet as measured from the property line
 - c. Abutting West River Park Drive: 15 feet as measured from the property line
 - d. Abutting Wimberly Canyon Drive: 15 feet as measured from the property line
 - e. Abutting the residential area to the west: 40 feet as measured from the property line
6. Minimum parking lot setbacks for Site B:
 - a. Abutting the private access easement: 10 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 10 feet as measured from the property line
 - c. Abutting the levee area: 25 feet as measured from the property line
 - d. Abutting the residential area to the west: 40 feet as measured from the property line

7. Paving:
 - a. All parking lots, driveways, and vehicle use areas that are installed on Site B may be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City of Sugar Land Design Standards.
 - b. Parking lots, driveways, and vehicle use areas that are existing on or prior to the effective date of this PD ordinance on Site A may be maintained per City of Sugar Land Design Standards.
8. The private access easement shall be a minimum of 28 feet wide and will be measured from back of curb to back of curb, and shall be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade. The private access easement shall be installed with the development of Site B.

E. Landscape, Bicycle, and Pedestrian Circulation Regulations - Sites within the PD shall be developed in accordance with the development regulations contained within this ordinance.

1. Minimum 15% Open Space of lot area.
2. Minimum landscape setback/buffer Site A:
 - a. Abutting the private access easement: 10 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 10 feet as measured from the property line
 - c. Abutting West Riverpark Drive: 15 feet as measured from the property line
 - d. Abutting Wimberly Canyon Drive: 15 feet as measured from the property line
 - e. Abutting the residential area to the west: 40 feet as measured from the property line
3. Minimum landscape setback/buffer for Site B:
 - a. Abutting the private access easement: 10 feet as measured from the nearest edge of pavement
 - b. Abutting the property to the east: 10 feet as measured from the property line
 - c. Abutting the levee area: 25 feet
 - d. Abutting the residential area to the west: 40 feet as measured from the property line
4. The landscape setbacks/buffers required and as shown in Exhibit C-1, *Final Development Plan – Building Orientation /Conceptual Location of Buildings, Parking, Vehicular/Pedestrian Access, Landscaping*, shall be planted as follows:
 - a. One tree for each 30 linear feet of landscape buffer, or portion thereof.
 - b. Screening trees and shade trees shall have a minimum four-inch caliper and minimum 10-foot height as measured at ground level when planted and shall be selected from Exhibit E, *Final Development - Plant List*.
5. The screening trees within the landscape buffer along the western property line adjacent to the residential area, across the parking lot frontage along West Riverpark Drive, and across the frontage along Wimberly Canyon Drive, must be linearly spaced at 30 foot intervals. All other required trees may be clustered or spaced linearly; they need not be placed evenly.
6. The landscape setback/buffer abutting the levee area:
 - a. From the toe of the levee to a distance of 25 feet, a landscape free zone is required in accordance with the United States Corp of Army Engineers (USACE) Levee Inspection Requirements; and
 - b. Any required trees must be set back a minimum of 30 feet from the toe of the levee per the USACE.

7. A sidewalk of a minimum of five feet in width shall be installed along one side of the private access easement in accordance with Exhibit C-1, *Building Orientation / Conceptual Location of Buildings, Parking, Vehicular/Pedestrian Access, Landscaping*. The sidewalk shall be installed at the time that the private access easement is constructed.
8. All parking lots installed pursuant to the approval of this PD shall be screened from view of residential areas and public rights-of-way by shrubs. Shrubs must be a minimum of two feet in height when measured immediately after planting. When used for screening purposes, the shrubs must be planted in a double row and not separated by more than three feet.
9. At the time that the private access easement is installed, one screening tree for every 30' shall be installed within the 40' landscape buffer at 30 foot intervals.
10. Off-street parking spaces for bicycles shall be provided within 50 feet to one building entrance in compliance with the Development Code.
11. One plaza at a minimum of 500 square feet (common open space) shall be installed on Site A prior to issuance of a Certificate of Occupancy for new construction at Site B. The plaza will include, at a minimum, two benches, one bicycle rack to accommodate five bicycles, one planter box, and one tree planted at grade. There shall be no light fixtures installed or operated within the plaza.

F. Building Regulations - Buildings within the PD shall be developed in accordance with the B-O regulations. Buildings on Site B shall be built in compliance with designs as depicted on Exhibit C-3, *Final Development Plan - Building Elevations, Relative Building Height, Key Site Features*. The following restrictions apply to all buildings within the PD::

1. Primary finishes are limited to brick, stone (natural, cast, or cultured-textured), textured concrete panels, and glass, and shall comprise at least 85% of each façade.
2. Use of architectural metals is limited to canopies, parapet walls, roof systems, and miscellaneous trim work, and such use must meet the durability standards of the City of Sugar Land Development Code.
3. Building façade finishes shall include a pattern with no less than three of the elements listed below:
 - a. Color change
 - b. Texture change
 - c. Material change
 - d. Expression of structural bay through a change in plane
4. The following building materials shall not be used in an exterior finish:
 - a. Vinyl siding, wood fiber hardboard siding, oriented strand board siding, plastic, or fiberglass panels
 - b. Unfired or underfired clay, sand, or brick shale
 - c. Smooth or untextured concrete surfaces, other than split-face concrete masonry units
 - d. Exterior Insulated Finish Systems (E.I.F.S.)
 - e. Stucco
 - f. Wood
5. No building services areas shall be located within landscape buffer areas nor within the parking lot setback areas and shall be screened from public streets and the existing residential area.

G. Additional Regulations.

1. Outside display or storage of merchandise and equipment is prohibited.
2. On-site storage of fleet vehicles is prohibited, with the exception of the two parking spaces for van shuttle services on Site B.
3. All service areas and mechanical equipment shall be screened from off-site views using walls, berms, shrubs and/or trees. This includes screening of the following:
 - a. Trash compactors and bins
 - b. Storage tanks and pumps
 - c. Irrigation controllers and backflow preventers
 - d. Electrical transformers and control boxes
 - e. Air-conditioning units
 - f. Auxiliary buildings
 - g. Shipping and receiving dock doors
 - h. Ground-mounted mechanical equipment
4. The use of outdoor speakers is prohibited.
5. Any lighting used to illuminate sidewalks, trails, landscape buffers, publicly-accessible outdoor spaces, parking spaces, and buildings shall comply with the lighting standards of the City of Sugar Land Development Code.
6. Drive-thru lanes are prohibited.
7. Commercial access shall be prohibited from the cul-de-sac on the private access easement to the adjacent property not included in this PD to the east of Site A and B, until the remaining acreage receives permanent zoning approval.

SHEET

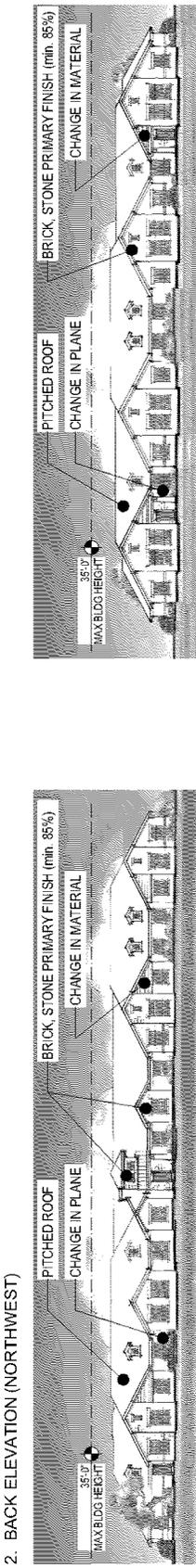
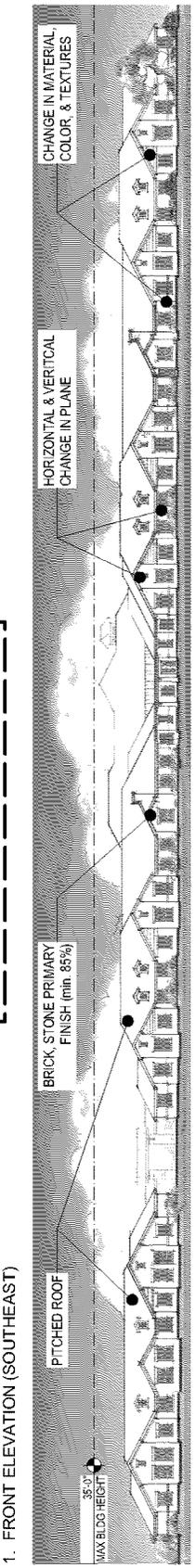
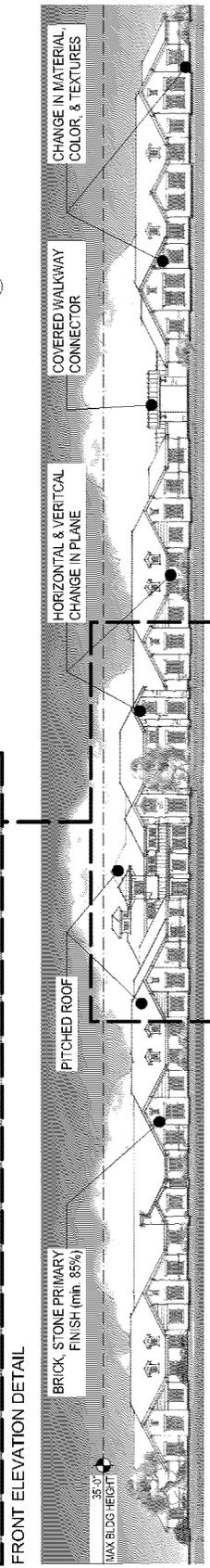
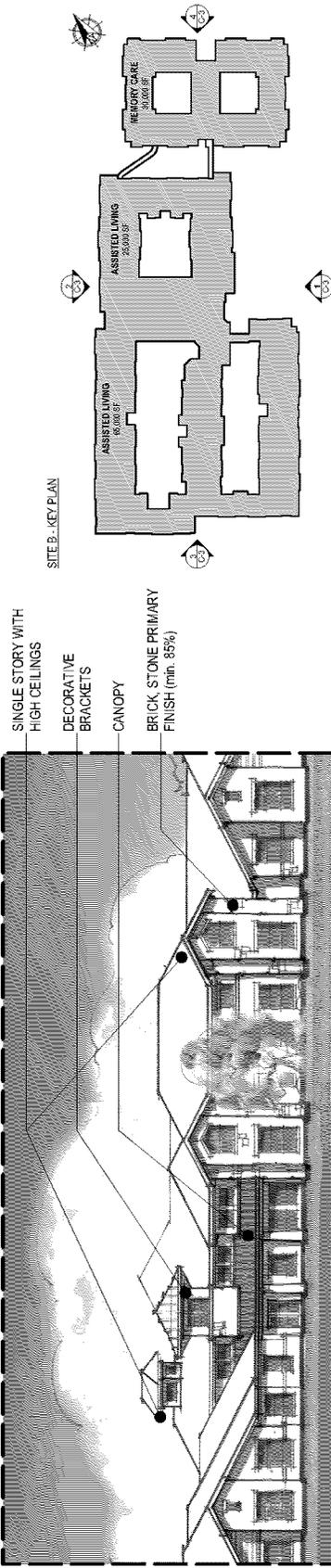
C-3

REVISION
DATE
May 9, 2017
November 21, 2016
November 21, 2016
18012
09977 ARCHITECTS, INC.

YEW TREE ASSISTED LIVING & MEMORY CARE
EXHIBIT C-3 FINAL DEVELOPMENT PLAN
Building Elevations, Relative Building Height, Key Site Features

II

pi architects
3002 Jefferson St., Suite 200
Baltimore, MD 21201
P: (410) 221-1494
F: (410) 221-1490
www.piarch.com
architect@piarch.com
info@piarch.com



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Sheet

C-4

PROJECT:
May 8, 2017
DATE: November 21, 2016
PROJECT: YEW TREE ASSISTED LIVING & MEMORY CARE
18012
PI ARCHITECTS, INC.

YEW TREE ASSISTED LIVING & MEMORY CARE EXHIBIT C-4 FINAL DEVELOPMENT PLAN Bulk Plane Exhibit

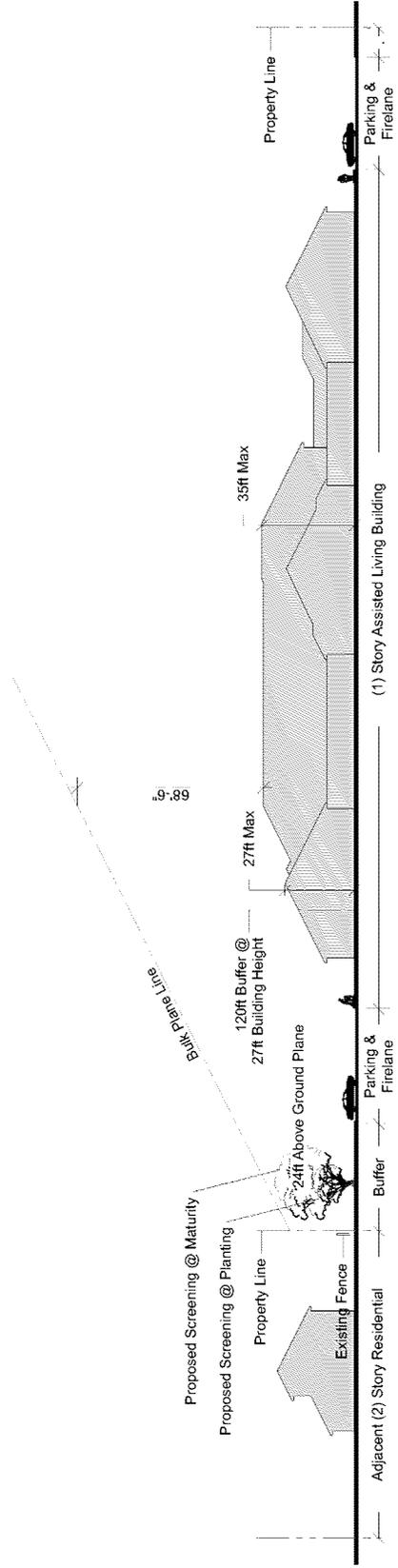
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pi architects

3003 Johnson St. Suite 200
Cincinnati, OH 45229
P: (513) 721-1967
F: (513) 221-1966
www.piarchitects.com
pi@piarchitects.com
piarchitects.com

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BULK PLANE DIAGRAM
SCALE: 1" = 40'



Exhibit D Final Development Plan - Permitted Use List

SITE A

<u>USES</u>	<u>SIC CODE</u>
Libraries ¹	8231
Schools and Educational Services (limited to 6,000 square-feet) ¹	8299
Child Day Care ^{1,2}	8351
Religious Organizations ^{1,3}	8661
Parks ¹	99

SITE B

<u>USES</u>	<u>SIC CODE</u>
Offices and Clinics of Medical Doctors	8011
Offices and Clinics of Dentists	8021
Offices of Osteopathic Physicians	8031
Offices of Other Health Practitioners	8041-8049
Medical and Dental Laboratories	8071-8072
Home Health Care Laboratories	8082
Health and Allied Services, NEC	8092
Specialty Outpatient Facilities, N.E.C. as follows:	8093
▪ Biofeedback centers	
▪ Rehabilitation center for outpatients (medical only)	
▪ Respiratory therapy clinics	
Nursing Home - Skilled Nursing Care ⁴	8051
Nursing Home – Intermediate Nursing Care ⁴	8052
Nursing Home – NEC (limited to convalescent homes, nursing homes, rest homes, personal care homes) ⁴	8059
Residential Care (limited to residential care for the aged, rest home, rehabilitation home) ⁴	8361
Parks	99

Notes:

1. Queuing and parking of vehicles is required to be maintained on-site.
2. Queuing and parking of vehicles is required to be maintained on-site. Vehicular access driveways to the private access easement is prohibited. Number of children enrolled at any one time is limited to a maximum of 150. Limited to use associated with the operation of the on-site church.
3. Limited to 35,000 square feet.

4. Maximum cumulative square footage of 120,000 square feet. Maximum cumulative number of beds 150. One outdoor recreation area at a minimum of 500 square feet shall be maintained in conjunction with the use of Site B. Maximum one facility per SIC category.

EXHIBIT E

FINAL DEVELOPMENT PLANT LIST

1. Shade Trees:

<u>Botanical Name</u>	<u>Common Name</u>
Carya illinoensis	Pecan
Quercus nigra	Water Oak
Quercus virginiana	Live Oak
Plantanus occidentalis	Sycamore
Quercus macrocarpa	Bur Oak
Quercus muehlenbergii	Chinkapin Oak
Quercus polymorpha	Monterey Oak
Taxodium disticticum	Bald Cypress
Taxodium ascendence	Pond Cypress
Ulmus crassifloa	Cedar Elm
Ulmus parvifolia	Drake Elm

2. Ornamental Trees:

<u>Botanical Name</u>	<u>Common Name</u>
Lagerstroemia indicia	Crepe Myrtle Multi or Standard
Platanus mexicana	Mexican Sycamore
Chionansus virginicus	Japanese Blueberry
Ilex atenuata savannah	Savannah Holly
Ilex x atenuata "Nellie Stevens"	Nellie R. Stevens Holly
Phoenix dacylifera medjool	Date Palm
Chionanthus virginicus	Fringe Tree
Pistachia texana	Texas Pistache
Cercis canadensis	Texas Redbud
Chilopsis lineransis	Desert Willow
Continsus abavatus	Smokebush
Ilex x attenuatta fosterri	Foster Holly
Ilex decidua	Possomhaw Holly
Ilex vomitoria	Yaupon Holly
Juniporus spp.	Columnar Juniper

3. Shrubs – Hedges, Screen:

<u>Botanical Name</u>	<u>Common Name</u>
Abelia grandilobra	Glossy Abelia
Ilex crenata	Burford Holly
Ligustrum texanum	Waxleaf Ligustrum
Nerium oleander	Oleander
Myrica ceriferi	Wax Myrtle

Photinia fraseri	Fraser's Photinia
Photinia serrulata	Chinese Photinia
Pittosporum tobira	Pittosporum
Viburnum japonicum	Japanese Viburnum
Viburnum suspensum	Sandankwa Suspensum
Callistemon citrus	Dwarf Bottlebrush
Dietries triolis	African Butterfly Iris
Cycas revoluta	Sago Palm
Hesperaloe parviflora	Red Yucca
Fatsia japonica	Japonica
Ilex vomitoria "Nana"	Dwarf Nandina

4. Vines:

<u>Botanical Name</u>	<u>Common Name</u>
Ficus pumila	Fig Ivy
Gelsemium sempervivens	Carolina Jessamine
Lonicera sempervivens	Coral Honeysuckle
Wisteria megaspernum	Evergreen Wisteria
Wisteria sinensis	Chinese Wisteria