

**ORDINANCE NO. 2036**

**AN ORDINANCE OF THE CITY OF SUGAR LAND, TEXAS, PROVIDING FOR A CHANGE OF ZONING FROM PLANNED DEVELOPMENT DISTRICT (PD) GENERAL DEVELOPMENT PLAN (IMPERIAL HISTORIC DISTRICT 1) TO PLANNED DEVELOPMENT DISTRICT (PD) FINAL DEVELOPMENT PLAN (IMPERIAL MARKET) FOR APPROXIMATELY 27 ACRES OF LAND LOCATED AT THE INTERSECTION OF US HIGHWAY 90A, ULRICH STREET, AND MAIN STREET IN THE IMPERIAL DEVELOPMENT.**

WHEREAS, City Council approved the Imperial Planned Development (PD) General Development Plan by Ordinance No. 1852 in 2012 creating the Historic District 1; and

WHEREAS, City Council approved an amendment of the Imperial Planned Development (PD) General Development Plan by Ordinance No. 1969 in 2014 amending the Historic District 1; and

WHEREAS, Imperial Market Planned Development (PD) Final Development Plan is within the overall Historic District 1 created by Ordinance No. 1852 and amended by Ordinance No. 1969; and

WHEREAS, Imperial Johnson, LLC has applied for a change in zoning from Planned Development District (PD) General Development Plan (Imperial Historic District 1) zoning district classification to Planned Development District (PD) Final Development Plan (Imperial Market) zoning district classification for 27 acres of land located at the intersection of US Highway 90A, Ulrich Street, and Main Street in the Imperial development; and

WHEREAS, the City Planning and Zoning Commission forwarded its final report to the City Council, recommending approval of the rezoning request with the modifications reflected in this ordinance; and

WHEREAS, the City Planning and Zoning Commission and the City Council have each conducted, in the time and manner and after notice required by law and applicable ordinances, a public hearing on such requested zoning change; and

WHEREAS, the City Planning and Zoning Commission recommended granting such requested zoning change with modifications and the same is herein incorporated and made a part of this ordinance; and

WHEREAS, the City Council finds that the zoning request complies with the City's comprehensive plan and now deems it appropriate to make such zoning change; NOW, THEREFORE,

**BE IT ORDAINED BY THE CITY COUNCIL  
OF THE CITY OF SUGAR LAND, TEXAS:**

**Section 1.** That the facts and recitations set forth in the preamble of the ordinance are hereby declared true and correct.

**Section 2.** That the zoning district classification of approximately 27 acres of land located at the intersection of US Highway 90A, Ulrich Street, and Main Street in the Imperial development and

described in Exhibit A, attached to and incorporated into this ordinance by reference, is changed from Planned Development District (PD) General Development Plan (Imperial Historic District 1) to Planned Development District (PD) Final Development Plan (Imperial Market) zoning district classification under the comprehensive zoning ordinance of the City of Sugar Land, Texas.

**Section 3.** That the following Exhibits are attached to and incorporated into this ordinance:

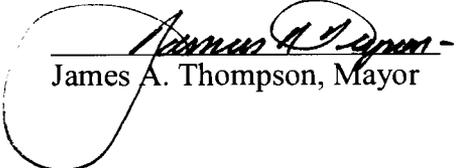
Exhibit A – Legal Description

Exhibit B – Final Development Plan

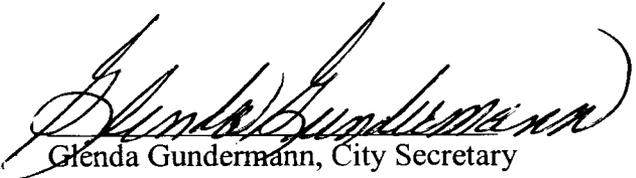
**Section 4.** That the City's official zoning map be amended to reflect this change in zoning district classification.

READ IN FULL on first consideration on December 17, 2015.

APPROVED upon second consideration on December 01, 2015.

  
James A. Thompson, Mayor

ATTEST:

  
Glenda Gundermann, City Secretary

APPROVED AS TO FORM:



Attachments: Exhibit A – Legal Description  
Exhibit B – Final Development Plan

County: Fort Bend  
Project: Imperial Redevelopment  
Job No.: 143708  
MB No.: 15-171

**FIELD NOTES FOR 24.896 ACRES**

Being a tract containing 24.896 acres of land located in the S.M. Williams League, Abstract Number 97, in Fort Bend County, Texas; Said 24.896 acre tract being a portion of a call 41.034 acre tract of land recorded in the name of the State of Texas, for the use and benefit of the Permanent School Fund in Fort Bend County Clerk's File (F.B.C.C.F.) Numbers 2007088839 and 2011006652 and Cherokee Sugar Land, L.P. in F.B.C.C.F. Number 2007084091; Said 24.896 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

**Beginning** at 5/8-inch iron rod found at the southeasterly intersection of Ulrich Street (60-foot width) and Kempner Street (width varies), and being the southwesterly corner of said 41.034 acre tract;

Thence, with the easterly Right-of-Way (R.O.W.) line of said Ulrich Street, the following four (4) courses:

1. North 24 degrees 00 minutes 26 seconds West, a distance of 284.88 feet to a 5/8-inch iron rod found;
2. North 06 degrees 37 minutes 02 seconds West, a distance of 426.92 feet to a 5/8-inch iron rod found;
3. North 05 degrees 59 minute 46 seconds West, a distance of 144.75 feet to a 5/8-inch iron rod found;
4. North 04 degrees 09 minutes 26 seconds West, a distance of 227.57 feet;

Thence, leaving said R.O.W. line and through and across aforesaid 41.034 acre tract, the following sixteen (16) courses:

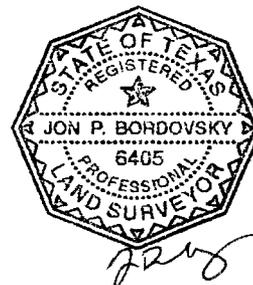
1. 31.28 feet along the arc of a curve to the left, said curve having a central angle of 89 degrees 37 minutes 29 seconds, a radius of 20.00 feet and a chord which bears South 48 degrees 58 minutes 10 seconds East, a distance of 28.19 feet;
2. North 86 degrees 13 minutes 06 seconds East, a distance of 1093.04 feet;
3. South 05 degrees 34 minutes 16 seconds East, a distance of 53.04 feet;
4. South 25 degrees 42 minutes 47 seconds East, a distance of 99.18 feet;
5. South 45 degrees 50 minutes 59 second East, a distance of 24.32 feet;
6. South 73 degrees 06 minutes 15 seconds East, a distance of 43.75 feet;
7. South 08 degrees 52 minutes 46 seconds West, a distance of 58.30 feet;

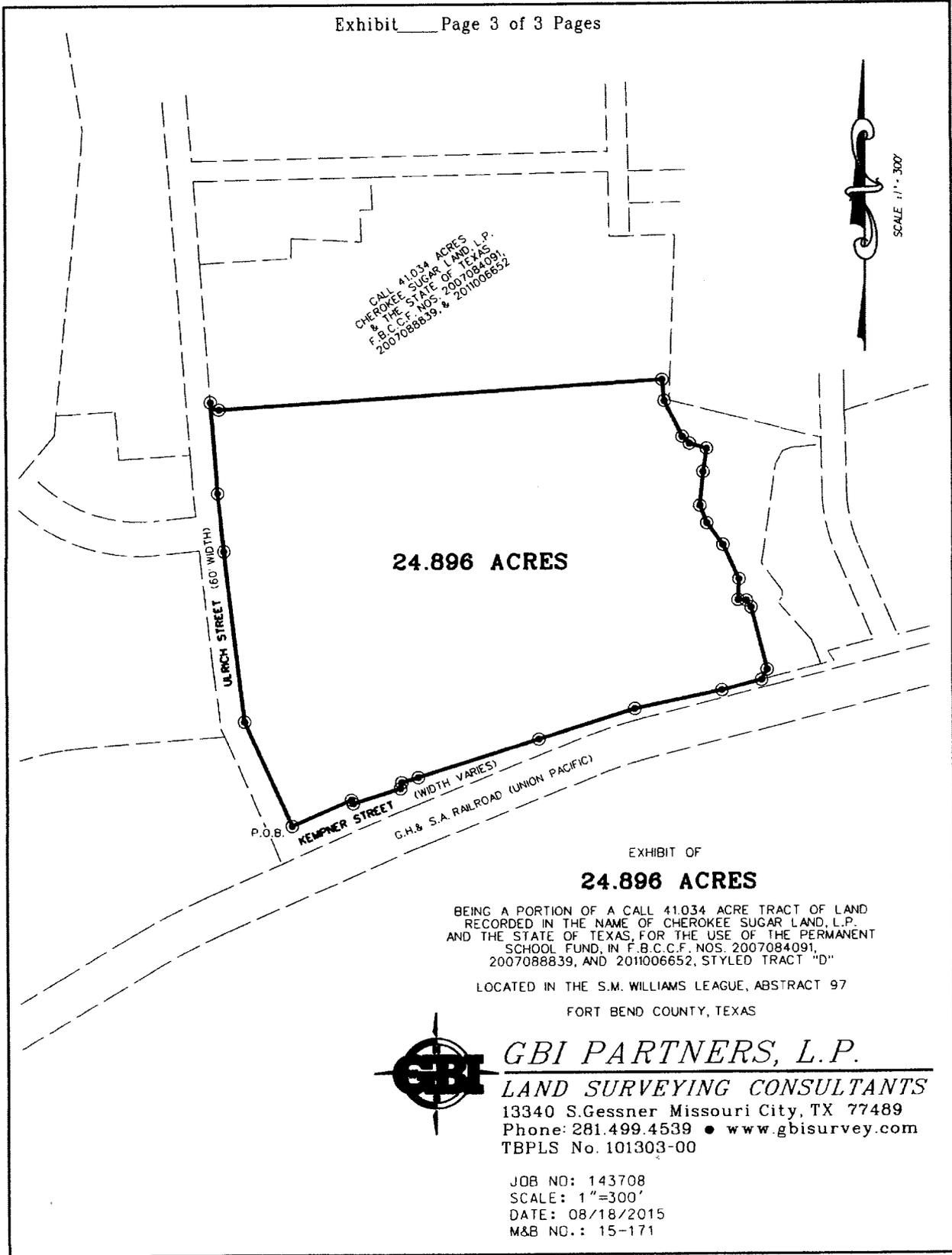
8. South 05 degrees 26 minutes 42 seconds West, a distance of 84.47 feet;
9. South 21 degrees 12 minutes 15 seconds East, a distance of 46.74 feet;
10. South 36 degrees 17 minutes 02 seconds East, a distance of 66.99 feet;
11. South 24 degrees 51 minutes 21 seconds East, a distance of 93.96 feet;
12. South 02 degrees 52 minutes 57 seconds West, a distance of 52.17 feet;
13. South 86 degrees 19 minutes 07 seconds East, a distance of 20.31 feet;
14. South 33 degrees 55 minutes 14 seconds East, a distance of 21.03 feet;
15. South 14 degrees 05 minutes 23 seconds East, a distance of 159.20 feet;
16. South 28 degrees 45 minutes 13 seconds West, a distance of 29.09 feet to the northerly R.O.W. line of aforesaid Kempner Street;

Thence, with said northerly R.O.W. line, the following nine (9) courses:

1. South 75 degrees 22 minutes 28 seconds West, a distance of 100.34 feet to a nail in concrete found;
2. South 78 degrees 03 minutes 18 seconds West, a distance of 220.00 feet to a nail in concrete found;
3. South 72 degrees 09 minutes 58 seconds West, a distance of 247.25 feet to a drill hole in concrete found;
4. South 72 degrees 21 minutes 40 seconds West, a distance of 312.16 feet to a nail found;
5. South 72 degrees 50 minutes 35 seconds West, a distance of 43.05 feet to a 5/8-inch iron rod found;
6. South 10 degrees 25 minutes 19 seconds West, a distance of 15.13 feet to a drill hole in concrete found;
7. South 72 degrees 21 minutes 47 seconds West, a distance of 122.38 feet to a nail found;
8. North 24 degrees 03 minutes 05 seconds West, a distance of 10.20 feet to a 5/8-inch iron rod found;
9. South 65 degrees 56 minutes 37 seconds West, a distance of 159.93 feet to the **Point of Beginning** and containing 24.896 acres of land.

GBI PARTNERS, L.P.  
Phn: 281.499.4539  
August 18, 2015





County: Fort Bend  
Project: Imperial Redevelopment  
Job No.: 143708  
MB No.: 14-290

**FIELD NOTES FOR 1.754 ACRES**

Being a tract containing 1.754 acres of land located in the S.M. Williams League, Abstract Number 97, in Fort Bend County, Texas; Said 23737 acre tract being a portion of a call 41.034 acre tract of land recorded in the name of the State of Texas, for the use and benefit of the Permanent School Fund in Fort Bend County Clerk's File (F.B.C.C.F.) Numbers 2007088839 and 2011006652 and Cherokee Sugar Land, L.P. in F.B.C.C.F. Number 2007084091; Said 1.754 acre tract being more particularly described by metes and bounds as follows (bearings are based on the Texas Coordinate System, NAD '83, South Central Zone):

**Beginning** at a drill hole in concrete found at the southwesterly intersection of Main Street (60-foot width) and Kempner Street (width varies), being the southeasterly corner of said 41.034 acre tract;

Thence, with the northerly Right-of-Way (R.O.W.) line of said Kempner Street, the following four (4) courses:

1. South 79 degrees 22 minutes 12 seconds West, a distance of 12.88 feet to a 5/8-inch iron rod found;
2. South 75 degrees 29 minutes 58 seconds West, a distance of 102.60 feet to a 5/8-inch iron rod found;
3. South 31 degrees 44 minutes 02 seconds East, a distance of 28.52 feet to a nail in concrete found;
4. South 75 degrees 32 minutes 58 seconds West, a distance of 32.69 feet to an "X" cut in concrete set;

Thence, leaving said R.O.W. line and through and across aforesaid 41.034 acre tract, the following ten (10) courses:

1. North 21 degrees 03 minutes 49 seconds West, a distance of 64.66 feet to a nail in bulkhead set;
2. North 41 degrees 04 minutes 15 seconds West, a distance of 122.14 feet to a nail in bulkhead set;
3. North 19 degrees 00 minutes 10 seconds East, a distance of 6.45 feet to a nail in bulkhead set;
4. North 39 degrees 09 minutes 03 seconds East, a distance of 12.54 feet to a 5/8-inch iron rod set;
5. North 03 degrees 44 minutes 33 seconds West, a distance of 14.80 feet to a 5/8-inch iron rod set;
6. North 36 degrees 09 minutes 49 seconds West, a distance of 85.27 feet to a 5/8-inch iron rod set;
7. North 07 degrees 59 minutes 51 seconds East, a distance of 249.31 feet to a 5/8-inch iron rod set;
8. North 29 degrees 20 minutes 43 second East, a distance of 36.28 feet to a 5/8-inch iron rod set;

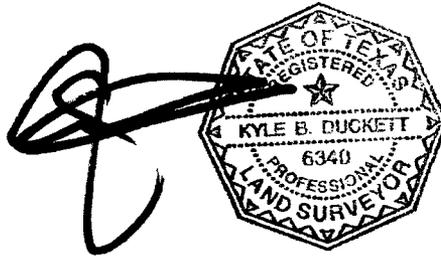
9. North 68 degrees 20 minutes 11 seconds East, a distance of 22.50 feet to a 5/8-inch iron rod set;
10. North 84 degrees 03 minutes 41 seconds East, a distance of 73.61 feet to a 5/8-inch iron rod set on the westerly R.O.W. line of aforesaid Main Street;

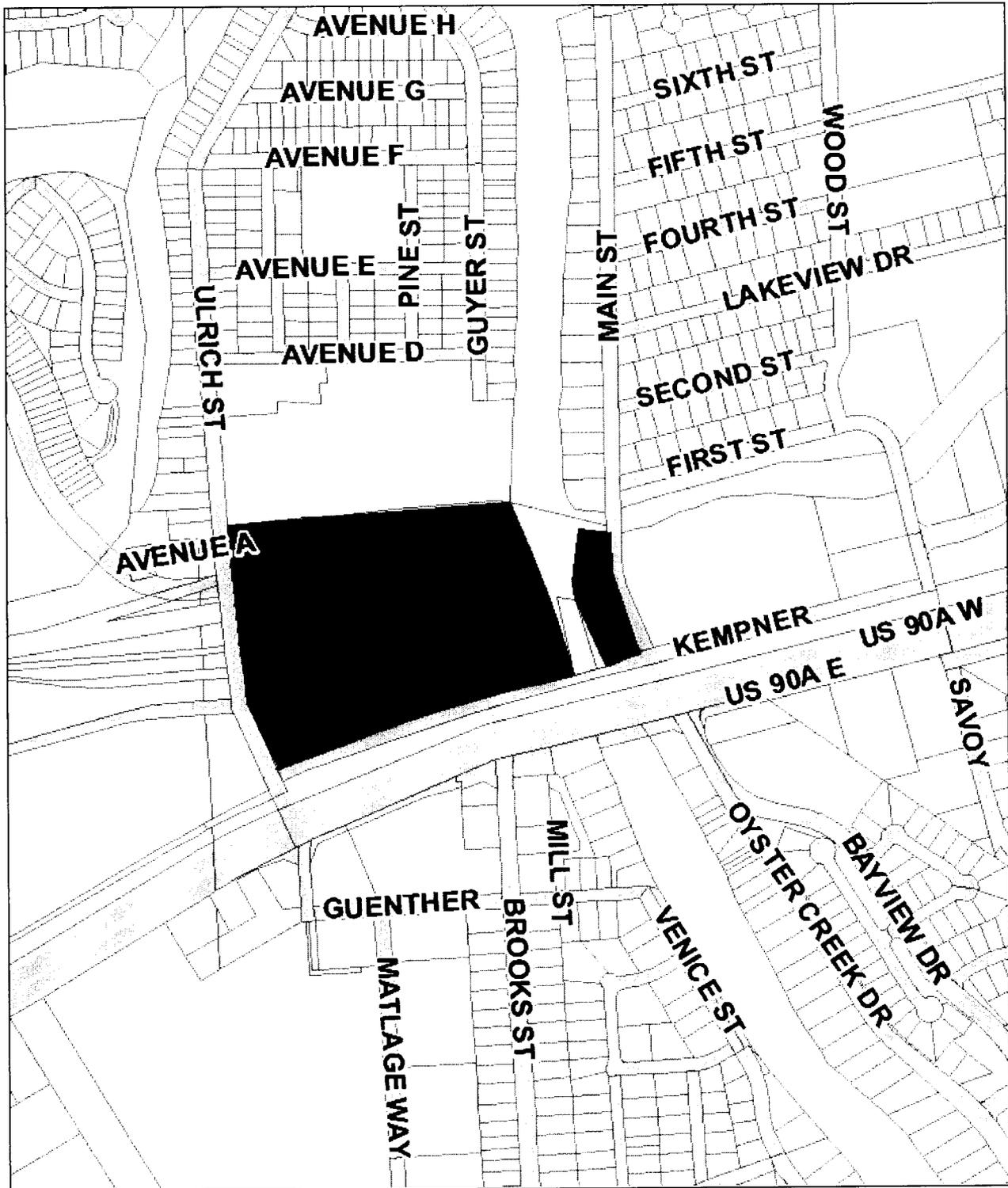
Thence, with said westerly R.O.W. line, the following three (3) courses:

1. South 00 degrees 55 minutes 35 seconds East, a distance of 113.14 feet to a 5/8-inch iron rod found;
2. 168.18 feet along the arc of a curve to the left, said curve having a central angle of 22 degrees 19 minutes 57 seconds, a radius of 431.48 feet and a chord which bears South 12 degrees 05 minutes 33 seconds East, a distance of 167.12 feet to a 5/8-inch iron rod found;
3. South 23 degrees 15 minutes 32 seconds East, a distance of 227.79 feet to the **Point of Beginning** and containing 1.754 acres of land.

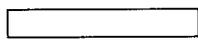
THIS DESCRIPTION WAS PREPARED IN CONNECTION WITH A LAND TITLE SURVEY FILED UNDER GBI PARTNERS' JOB NUMBER 143708.

GBI PARTNERS, L.P.  
Phn: 281.499.4539  
December 4, 2014





600



Feet

■ Imperial Historic District



**EXHIBIT B**  
**FINAL DEVELOPMENT PLAN**  
**(IMPERIAL MARKET DISTRICT)**

**A. Contents.** This final development plan includes the following sections:

- General Provisions
- Land Uses
- Development Regulations
- Landscape and Pedestrian Circulation Regulations
- Building Regulations
- Additional Regulations

**B. General Provisions.**

1. The PD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in the General Business (B-2) zoning district is not contained in this ordinance, all the regulations contained in the Development Code applicable to the General Business (B-2) zoning district in effect on the effective date of this ordinance apply to this PD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.

2. Except as otherwise provided herein, the words used in this Final Development Plan have the meaning established by the Development Code. In this ordinance:

*Open Space* means the portion of all land contained within the PD that is not covered by buildings, parking lots, driveways, improved pedestrian areas (outside of publicly accessible plazas), or other impermeable material.

*PD* is the planned development district created by this ordinance.

*Pavers* mean colored interlocking bricks, tiles, stones, blocks, or concrete units.

*Retail* means a commercial establishment engaged in the selling of goods and merchandise to the general public and rendering services incidental to the sale of such goods.

3. The PD shall be developed in accordance with the following exhibits that are attached to and made part of this Final Development Plan:

Site Location Exhibits

Exhibit B-1:  
Exhibit B-1B:  
Exhibit B-1C:

*Location Map*  
*Vicinity Plan*  
*Site Plan*

Land Use Exhibits

Exhibit B-2:

*Permitted Use List*

Development Regulation Exhibits	
Exhibit B-3:	<i>No Building Areas and View Corridor Zones</i>
Circulation Exhibits	
Exhibit B-4:	<i>Pedestrian &amp; Bicycle Circulation Outdoor Dining &amp; Activity Areas</i>
Exhibit B-5:	<i>Vehicle Circulation Plan</i>
Exhibit B-6:	<i>Internal Shuttle Circulation Plan</i>
Exhibit B-7:	<i>Fire Apparatus Access Exhibit</i>
Exhibit B-8:	<i>Cross Section Reference Exhibit</i>
Exhibit B-8A – 8H:	<i>Cross Sections</i>
Landscaping Exhibits	
Exhibit B-9A:	<i>Landscaping / Open Space</i>
Exhibit B-9B:	<i>Landscape Plan</i>
Exhibit B-10:	<i>Plant List</i>
New Construction Exhibits	
Exhibit B-11:	<i>Multi-Family Elevations</i>
Exhibit B-12:	<i>Buildings 1, 8, 12, 13 &amp; 14</i>
Exhibit B-13:	<i>Building 2 Elevation</i>
Exhibit B-14:	<i>Building 9 South Elevation</i>
Exhibit B-15:	<i>Building 10 Elevation</i>
Exhibit B-16:	<i>Parking Garage North Elevation</i>
Historic Preservation Exhibits	
Exhibit B-17:	<i>Char House West Elevation</i>
Exhibit B-18:	<i>Building 3, 3 Bay Warehouse North Elevation</i>
Exhibit B-19:	<i>Building 6, Engineering Building</i>
Exhibit B-20:	<i>Imperial Museum</i>

**C. Land Uses.**

1. Permitted land uses are listed in Exhibit B-2, *Permitted Uses*. All other land uses are prohibited.
2. Permitted land uses may be mixed horizontally or vertically on a single property in accordance with Exhibit B-2, *Permitted Uses*.
3. Certain land uses are permitted when developed under specific conditions as established in the Notes section of Exhibit B-2, *Permitted Uses*.
4. Building permits for multi-family units within the Imperial Market District will not be issued until a City Multi-family Rental Property License has been obtained under Chapter 4, Article VIII of the Code of Ordinances for all multi-family units within the Ballpark District Tract B, and the project in the Ballpark District has a minimum occupancy of at least 75 percent. (For the purpose of calculating the minimum occupancy, demonstration units, or model units will not be included in the calculations).

5. Minimum open space: 15% of the Historic District 1 area. Part of the required open space will be provided within The Imperial Market District FDP. See Exhibit B-9A, *Landscaping, Open Space*.

**D. Development Regulations.**

**D.1. Development Regulations for Nonresidential in the Imperial Market District** - Nonresidential sites within the PD district shall be developed in accordance with the following development regulations:

1. Maximum height of structures:
  - (a) No building may be constructed taller than the Char House, being 133 feet above ground level. For outlying buildings shown as 1,8,12, 13 and 14, the maximum height shall be two (2) stories and not to exceed 35 feet. For other new construction, shown as buildings 2, 4, 5,9,10 and 11 the maximum height shall be 65 feet. Ornamental features, including but not limited to the following elements may be constructed up to 15 feet above the maximum height allowed:
    - o Chimneys,
    - o Ornamental tower spires,
    - o Cooling towers,
    - o Elevator bulkheads,
    - o Roof gables,
    - o Parapet walls, and
    - o Mechanical equipment.

The maximum height of the parking garage shall be 75 feet, subject to Bulk Plane requirements as shown on Exhibit B-16, *Parking Garage North Elevation*

- (b) There shall be no buildings within the area shown as "Zone R" on Figure 1 and as shown on Exhibit B-3, *No Building Areas and View Corridor Zones*.
- (c) In order to preserve views to the Char House, only building appurtenances such as covered walkways, awnings, entry vestibules, located within the view corridor Zone A as illustrated on "Figure 1" and "Figure 2" below, may be constructed to a height no greater than 20 feet. In addition, signage, and landscape improvements such as site furniture, seat walls, paving, irrigation, and tree and other landscape planting will be permitted in Zone A. Except as noted herein, No other Building or Structures are permitted in Zone A.
- (d) No Building or Structure within the view corridor Zone B as illustrated on "Figure 1" and "Figure 2" below, may be constructed to a height greater than 60 feet.

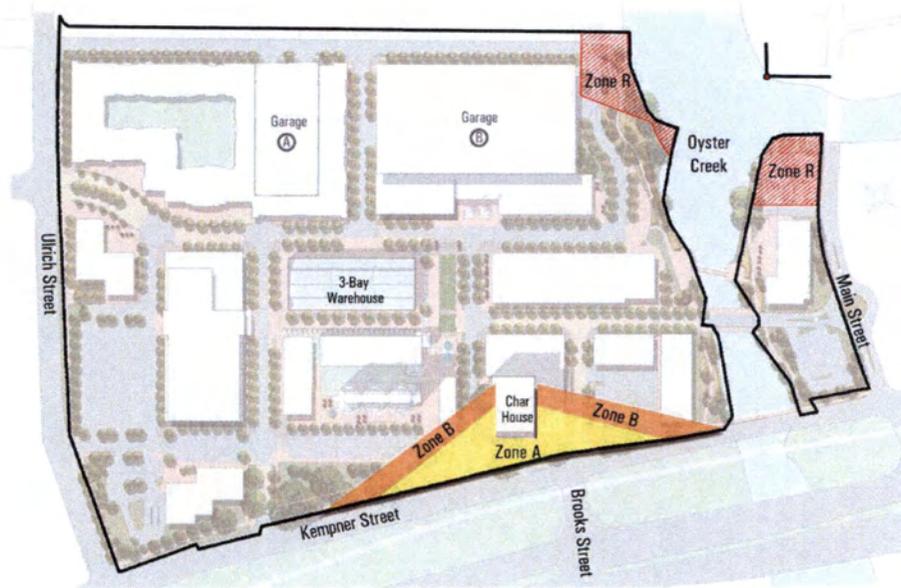


FIGURE 1.

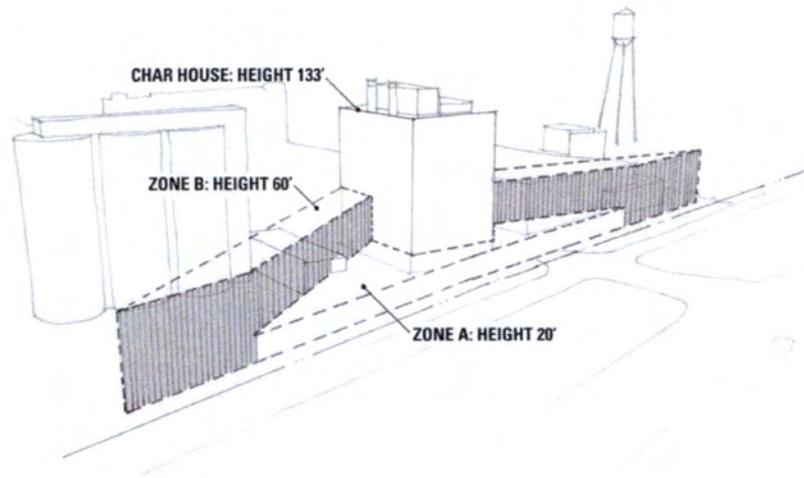


FIGURE 2.

2. Minimum building setbacks for new buildings and future additions to existing buildings; (existing buildings and structures will remain at their current setback)
  - (a) 20 feet abutting existing public street lot lines, Kempner Street, Main Street and Ulrich.
  - (b) 5 feet abutting future public street lots lines.
  - (c) 10 feet abutting internal access driveway/easements. (measured from the edge of concrete paving)
  - (d) 10 feet abutting Oyster Creek, except where the 25 foot landscape buffer per the General Plan applies as shown on [Exhibit B-9A, Landscaping, Open Space](#).
  - (e) Side and rear yards not abutting a public right-of-way:
    - (i) 5 feet abutting a nonresidential or multi-family use.
    - (ii) None required if adjoining another building.
  - (f) Awnings and canopies attached to a principal building may project up to 5 feet into a required building setback if located at least 8 feet above adjoining sidewalks, pedestrian walkways, or outdoor service areas for eating and drinking establishments.
  
3. Minimum parking lot setbacks:
 

(a) All public street lot lines:	25 feet
(b) Abutting internal access driveway / easements:	10 feet
(c) Oyster Creek:	10 feet
(d) All other lot lines:	10 feet
  
4. All parking lots, driveways and internal access driveway / easements will be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards. Special pavers and/or stamped concrete will be incorporated into the paving in the locations as shown on Figure 3. A difference in paving color, texture or material type shall be incorporated into the one-way sections of the drive in order to simulate a narrower paving cross section.



**FIGURE 3.**

5. Farmers' Market and Outdoor Retail Use:

- (a) Merchandise may be displayed, and sold outside and independent of any retail building, as in a "farmers' market" if located within the area indicated below in Figure 4, as "Farmers' Market & Outdoor Retail Use Area". A minimum 10 foot wide pedestrian corridor in combination with a minimum 150 feet long 20 foot wide fire lane must remain clear at all times within the Outside Retail Use Area.

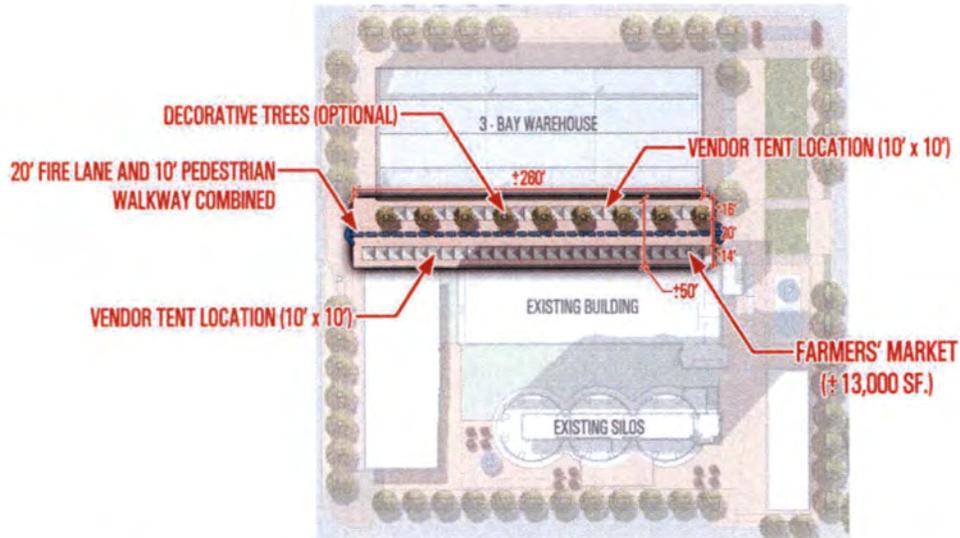


FIGURE 4.

6. Outdoor Activity and Dining Areas for Eating and Drinking Establishments: Establishments that provide a place for outdoor services adjacent to the establishment shall adhere to the following:
- (a) Outdoor Activity and Dining Areas may be no nearer than 8 feet from face of curb along an internal access driveway/easement.
- (b) Shall not encroach into any sidewalk or other pedestrian walkway as required herein.
- (c) Shall be delineated within a specific area shown on Exhibit B-4, *Pedestrian & Bicycle Circulation Plan*.
- (d) Must provide additional off-street parking, under the schedule applicable in the Development Code, for that portion of the outdoor service area that exceeds by more than 25% the square feet of the indoor dining area to which the off-street parking requirements apply.
- (e) Outdoor services are prohibited in the cross hatched areas located on each side of Oyster Creek as shown on Figure 9 after 10:00 pm, Sunday thru Thursday, and 12:00 am, on Friday and Saturday.

7. Parking:

- (a) For each of the permitted land uses there shall be provided the number of parking spaces required for that land use under section 2-215 of the Development Code. The required number of parking spaces for each land use may be provided by using surface parking or garage parking within the PD. In calculating the required number of parking spaces for each land use, the Director may give credit for shared parking utilizing the Share Parking criteria published by the Urban Land Institute. The Director shall determine and establish the parking requirements for each building in the PD as part of the building permit issued for each building, in accordance with the requirements of this section. The garage shall include pedestrian-oriented directional signage to guide visitors.
- (b) On Street Parking: A minimum number of 61 on-street parking spaces shall be provided in the locations as shown in Figure 5 below.



FIGURE 5.

- (c) Valet Parking: Not more than four (4) strategically located valet parking stations shall be designated within the District. All business, hotels, restaurants and facilities shall only use the designated valet stations for valet parking. Cars shall be dropped off and picked up only at the valet stations and cars shall be parked within the sectioned off areas designated for valet parking only.
  - i. No more than 2 on-street parking spaces per valet station can be used for valet pick-up and drop-off only
  - ii. Valet shall not park or allow the parking of vehicles in a pick-up and drop-off point.

- iii. Valet shall not place signs, or cones, or any other object in a roadway, sidewalk or parking spot other than within their designated pick-up and drop off points and/or designated parking areas.
  - iv. Designated valet parking areas shall be located on the upper level of the parking garage "B" and/or in the surface parking lots identified a "VP" on Figure 5.
- (d) Surface Parking: Any premises containing a Parking Lot that has more than 10 Parking Spaces must meet the following landscaping requirements for the Parking Lot:
- i. For each 20 Parking Spaces, or fraction thereof, Landscaped Areas containing a total of at least 162 square feet must be provided within the Parking Lot. Landscaped Areas or islands must be a minimum of 6 feet in width and a minimum of 6 feet in length, measured from back of the curb, and be dispersed throughout the Parking Lot. Landscaped Areas may be configured in islands or peninsulas within the parking lot. One shade Tree must be provided for every 162 square feet of required Landscaped Area for interior Parking Lots. The remaining area or island must be Landscaped with plants or ground cover not exceeding 3 feet in Height.
  - ii. Landscaped islands must be protected from vehicle intrusion by curbs or similar Structures. The front of a vehicle may encroach upon the Landscaped island when the area is a minimum of six feet in depth and protected by wheel stops or curbs. Two feet of the Landscaped Area may be counted as part of the required depth of the abutting Parking Space.
  - iii. A continuous hedge or berm a minimum of 3 feet in height at time of planting to screen the parking lot and vehicle use area from Ulrich, Kempner and Main Street. When used for screening purposes, Shrubs must be planted in a double row with triangular centers and not be separated by more than 3 feet (see Figure 6). Whenever shrubs are used to meet a screening requirement, the plants must be planted and maintained so as to form a continuous, unbroken, solid, visual screen within 1 year of planting, unless providing for an intersecting sidewalk.

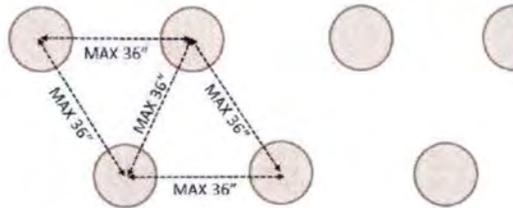


FIGURE 6.

8. Parking Garage B:
- (a) Structured parking garages are required, and shall provide for a minimum 1,125 parking spaces.
  - (b) Shade trees must be planted along the exterior wall for every 30 linear feet of the length of the structure not screened from public view by other structures. Shade trees must be

- a minimum of ten (10) feet in height and must have a minimum four (4) inch caliper at time of planting. Tree caliper is measured 6 inches from the natural ground.
- (c) A shrub a minimum of 3 feet in height at time of planting must be planted for every 5 linear feet of the length of the structure not screened from public view by other structures.
- (d) A "green screen" or Trellis is required along portions of the north elevation of the parking garage. The "green screen" shall consist of live vegetation attached to a decorative metal screen. The metal screen shall be painted green and shall not have the appearance of a chain link fence.
- (e) The parking garage is subject to the landscape requirements outlined and illustrated on [Exhibit B-9B: Landscape Plan](#) and [Exhibit B-16, Parking Garage North Elevation](#).

9. Bicycle Parking:

- (a) At least 7 bicycle parking areas shall be provided as shown on [Exhibit B-4, Pedestrian & Bicycle Circulation Plan](#).
- (b) Bicycle parking spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
- (c) Bicycle parking shall include racks, lockers, or other structures intended for parking bicycles with a minimum of 4 spaces in any one location. Bicycle / Pedestrian Plazas shall provide a minimum 6 parking spaces in any one plaza.
- (d) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
- (e) Parking garages shall include bicycle parking.
- (f) At least 3 Bicycle / Pedestrian Plazas shall be provided as shown on [Exhibit B-4, Pedestrian & Bicycle Circulation Plan](#).
  - i. Plazas shall meet the minimum requirements listed below and as illustrated on [Figure 7](#).
  - ii. Plazas shall have a minimum size of 500 square feet.
  - iii. Plazas shall include a decorative paving pattern.
  - iv. Plazas shall include at least 2 benches and 2 shade trees.
  - v. Plazas shall include pedestrian scale lighting.

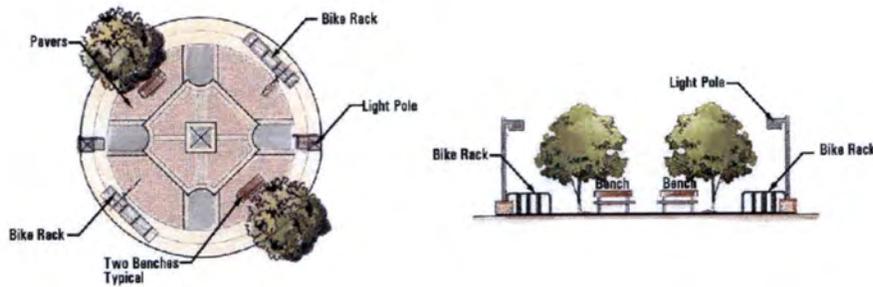


FIGURE 7.

10. General Service Areas:

- (a) All service areas and mechanical equipment shall be internal and centralized to the site. All service areas will be fully screened from off-site views with a combination of landscaping, fencing and architectural walls. This includes screening of the following:
  - (i) Trash compactor and bins
  - (ii) Storage tanks and pumps
  - (iii) Irrigation controls and backflow preventers
  - (iv) Electrical transformers and control boxes
  - (v) Air-conditioning units
  - (vi) Loading and truck service areas
  - (vii) Auxiliary buildings
  - (viii) Shipping and receiving dock doors
  - (ix) Truck docks and trash bins
  - (x) Trash enclosures
  - (xi) Ground-mounted mechanical equipment

11. Tree Preservation:

- (a) Existing Oak and Pecan Trees located along and within 50 feet of Kempner Street with a caliper greater than 8 inches shall be preserved. Except any tree may be removed, subject to the City's current Tree Preservation regulations (Chapter 2, Sec. 2-388), for the extension or widening of public right-of-way and/or public utilities.
- (b) Existing trees may be relocated on the property with the permission of the Planning Director.
- (c) Any tree identified by a certified arborist as a hazard, diseased or dead, may be removed with the written authorization of the Planning Director. Likewise, any tree identified by a certified arborist as unlikely to survive construction operations may be preemptively removed with the authorization of the Planning Director.

**D.2. Development Regulations for Multi-Family in the Imperial Market District** - Multi-family within the PD district shall be developed in accordance with the following development regulations:

1. Maximum height of structures:

- (a) No building may be constructed taller than 65 feet above ground level.
- (b) Within the area 100 feet of an existing residential zoning district shown as "Zone R" on Figure 1 shall be a no building area.

2. Minimum building setbacks for new buildings.

- (a) 20 feet abutting existing public street lot lines, Kempner Street, Main Street and Ulrich.
- (b) 5 feet abutting future public street lots lines.
- (c) 10 feet abutting internal access driveway/easements. (measured from the edge of concrete paving)
- (d) Side and rear yards not abutting a public right-of-way:
  - (i) 5 feet abutting a nonresidential or multi-family use.  
None required if adjoining another building

- (e) Awnings and canopies attached to a principal building may project up to 5 feet into a required building setback if located at least 8 feet above adjoining sidewalks, pedestrian walkways.
3. Maximum multi-family density:
- (a) Maximum of 274 units.
  - (b) Multi-family units are restricted to one and two bedroom units only.
4. All driveways and internal access driveway / easements will be paved with a concrete surface or interlocking pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
5. Parking: Required parking for multi-family uses will be provided in the parking garage "A" and the garage shall be integrated into the multi-family development. No surface parking areas will be permitted for multi-family uses.
- (a) Shade trees must be planted along the exterior wall for every 30 linear feet of the length of the structure not screened from public view by other structures. Shade trees must be a minimum of ten (10) feet in height and must have a minimum four (4) inch caliper at time of planting. Tree caliper is measured 6 inches from the natural ground
  - (b) A shrub a minimum of 3 feet in height at time of planting must be planted for every 5 linear feet of the length of the structure not screened from public view by other structures.
  - (c) A "green screen" or Trellis is required along portions of the north elevation of the parking garage. The "green screen" shall consist of live vegetation attached to a decorative metal screen. The metal screen shall be painted green and shall not have the appearance of a chain link fence.
  - (d) The parking garage is subject to the landscape requirements outlined and illustrated on *Exhibit B-9B: Landscape Plan*, *Exhibit B-11: Multi-Family Elevations* and *Exhibit B-16: Parking Garage North Elevation*
6. Bicycle accommodations:
- (a) Bicycle parking shall be provided as shown on *Exhibit B-4, Pedestrian & Bicycle Circulation Plan*
  - (b) Bicycle parking spaces shall be provided within 50 feet of the leasing and management office.
  - (c) Bicycle parking spaces shall include racks, lockers, or other structures intended for parking bicycles with a minimum 4 spaces in any one parking area.
  - (d) Racks shall be designed to support the bicycle upright in two places on the bicycle frame.
  - (e) Bicycle parking spaces shall not encroach into any sidewalk or other pedestrian walkway as required herein.
7. General Service Areas:
- (a) All service areas and mechanical equipment shall be internal and centralized to the site. All service areas will be fully screened from public views with a combination of landscaping, fencing and architectural walls. This includes screening of the following:
    - (i) Trash compactor and bins
    - (ii) Storage tanks and pumps
    - (iii) Irrigation controls and backflow preventers

- (iv) Electrical transformers and control boxes
- (v) Air-conditioning units
- (vi) Loading and truck service areas
- (vii) Auxiliary buildings
- (viii) Shipping and receiving dock doors
- (ix) Truck docks and trash bins
- (x) Trash enclosures
- (xi) Ground-mounted mechanical equipment

8. Developer shall achieve Bronze level certification utilizing the National Association of Home Builders' *National Green Building Program* as the basis for site design and construction requirements.
9. Fences: No perimeter fencing is permitted for the multi-family development.
10. Patios and outdoor balconies:
  - a. No clothes lines, bedding, personal clothing or cleaning items shall be hung or left on patios and/or balconies at any time.
  - b. Bicycles, skates, skateboards, surfboards and other personal belongings shall be kept inside the buildings and not stored on the patios and balconies.
  - c. No signs or advertising material shall be posted on or from a balcony railing.
  - d. Satellite dishes may be placed on individual unit balconies; however, they must be placed so as not to protrude beyond the balcony.
11. All multi-family units shall be designed with units accessible to a temperature controlled interior corridor. No external corridors visible from the public streets or internal access easements shall be permitted.
12. Per *Resolution 10-21*, adopted by City Council on April 20, 2010, Final Development Plans with multi-family and non-conventional single-family uses such as townhomes shall consider the features listed below. References to Resolution 10-21, noted below, correspond to the development regulations for multi-family within this Final Development Plan.
  - Vertical or horizontal mix of uses.
  - Pedestrian-friendly elements beyond code requirements.
  - Streetscape/hardscape enhancements.
  - Connectivity for bicycle and pedestrian traffic.
  - Reserved spaces for future transit nodes and interfaces.
  - Enhanced exterior building finishes.
  - Enhanced landscaping and buffering from existing single-family uses. Incentives for owner occupancy increased density, etc.
  - "Green building" incentives beyond code requirements for structures and site development.
  - Integrated parking – structured parking, etc.
  - Allowance for shared common space between different uses.
  - Provision for goods and services supporting residential uses within walking distance with pedestrian connectivity.

**E. Landscape and Pedestrian Circulation Regulations** – All sites within the PD shall be developed in accordance with the following landscape and pedestrian circulation regulations:

1. Minimum widths for landscape buffers, contiguous to lot lines along:
  - a) Oyster Creek: 30 feet
  - b) Main Street and Ulrich Blvd. 10 feet
  - c) Kempner Street 10 feet(Subject to tree preservation D.1.13 above.)
2. Landscape buffers along Oyster Creek shall include seating areas, like a bench or stone wall, etc., at a minimum spacing of 1 seating area for each 100 feet of creek frontage. The buffer shall include a minimum 6' wide sidewalk and other landscape features, including plazas and a pedestrian bridge across the creek. The typical buffer width will be 40 to 50 feet wide and the minimum buffer width shall be 30 feet from the edge of the water.
3. Landscape buffer along public streets or internal access driveway / easements may be used for future transit stops.
4. In order to create a more urban context, landscape buffers are not required along public streets and internal access driveway / easements within the Imperial Market District. In lieu of landscape buffers, if the area between the building face and curb is paved, a shade tree located with a tree well must be provided at a minimum spacing of 1 for each 30 feet of lot width, or portion thereof, measured along the street-facing line. Tree wells, with and without iron grates, shall be a minimum 6 feet by 6 feet. In addition, the pedestrian realm along each block face will include street scape amenities including, but not limited to: benches, pedestrian scaled lighting, pavers, landscape and trees
5. Where landscape buffers are provided adjacent to the public street or internal access driveway / easements, each premise shall have one shade tree located in the buffer for each 30 feet of lot width, or portion thereof, measured along the street-facing lot line. The trees may be clustered or spaced linearly; they need not be placed evenly.
6. Shade trees shall have a minimum 4-inch caliper and minimum 10-foot height.. Tree caliper is measured at six inches, 6" from natural ground level, and overall tree height is measured at natural ground level.
7. Approximately 2.4 acres of Open Space shall be provided in the Imperial Market District. This amount will be part of the 6.15 acres of open space required in the Historic District 1. Open space will include landscape buffers and publicly-accessible outdoor spaces including the Oyster Creek Greenbelt and 0.3 acre Main Plaza as shown on [Exhibit B-9A: Landscaping, Open Space Plan](#). The Main Plaza will include street scape amenities including, but not limited to: benches, pedestrian scaled lighting, pavers, landscape and trees.
8. Sidewalks:
  - (a) Sidewalks are permitted to occupy the full width of the area between the back of curb and the building face in the Imperial Market District, also referred to as the Pedestrian Realm. The dimension of the Pedestrian Realm within the Market District will vary as shown on [Exhibit B-4, Pedestrian & Bicycle Circulation Plan](#).. At a minimum, a 6-foot

wide walkway, (free of encroachments / obstructions) shall be provided within the Pedestrian Realm.

9. Pedestrian walkways:

- (a) A pedestrian walkway shall connect a building entrance to the adjacent sidewalk.
- (b) For buildings uses with parking located between the street and the building, at least one walkway shall be provided to, through and/or around its associated parking area to connect the building entrance to the adjacent sidewalks as shown on Exhibit B-4, *Pedestrian & Bicycle Circulation Plan*.
- (c) Pedestrian walkway criteria:
  - (i) Minimum 6-foot width for all other pedestrian walkways;
  - (ii) Readily visible and free of encroachment by parked vehicles;
  - (iii) Paved with concrete or other masonry products differentiated from the driveway and parking areas through the use of color, texture, or materials;
  - (iv) Predominantly shaded with shade trees at one per 30 linear feet of walkway or building canopies; and
  - (v) Lighted with pedestrian-scaled fixtures.
  - (vi) Include "Way finding" signage

F. **Building Regulations** – Buildings within the PD shall be developed in accordance with Exhibits B-11 thru B-20, and the following building regulations:

a1). **New Construction: Nonresidential Buildings**

- New buildings in the Market District shall incorporate design features respective of the architectural elements of the existing historical industrial buildings in the District.
  - Development in the Market District shall complement the existing Historic industrial buildings in design, color, texture and/or other visual qualities.
  - New construction may be differentiated from the old, but should be compatible with massing, size, and scale, and include distinctive architectural features, finishes and construction techniques that characterize the property.
1. Building design criteria:
- a. Building facades shall include offsets, or changes in building materials, colors and textures, or other methods to break up the horizontal and vertical building planes.
  - b. Building facades shall incorporate architectural details that create shade and cast shadows to provide visual relief.
  - c. Building facades, other than parking garages, greater than 100 feet in length that face public or private streets shall incorporate offsets having a minimum depth of at least 2 feet, and extending at least 20% of the length of the facade.
  - d. No uninterrupted length of façade facing a public or private street shall exceed 100 feet.
  - e. The front façade (the side of the building facing the street or internal access driveway / easement) of the first floor of a retail building within 50 feet of public street right-of-way or internal access driveway / easement shall be at

least 60% transparent in order to permit visibility between building occupants and outdoor pedestrians and motor vehicle drivers.

- f. Ground floor facades for retail buildings that face public streets or internal access driveway / easements shall have storefronts, canopies, arcades, display windows, entry areas, awnings or other features along at least 50% of their horizontal length.
- g. The Director may approve alternative canopy or Façade treatments not specified in this article if the Director determines that the alternative canopy or façade treatment is respectful of the architectural elements of the existing historical industrial buildings, substantially equal to or better than a specified requirement in quality, durability, and appearance and the use thereof will not violate any provision of this article.

2. Building façade finishes:

- a. Primary finishes include brick, stone (natural, cast, or cultured-textured), and glass. Textured concrete panels may be considered a primary material for the construction of the parking garage only.
- b. Primary finishes shall comprise at least 70% of each façade for nonresidential buildings.
- c. Secondary finishes shall include textured concrete panels, wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), architecturally finished metals for trim and accent features, and stucco. Secondary finishes shall comprise no more than 30% of the façade for any building. Except stucco shall comprise no more than 20% of any façade.
- d. The Director may approve alternative Primary or Secondary Exterior Finishes not specified in this article if the Director determines that the alternative finish is respectful of the architectural elements of the existing historical industrial buildings, substantially equal to or better than a specified Primary or Secondary exterior Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.

- 3. No single building finish material shall cover more than 80% of the front of any building.
- 4. All facades of an individual building and the facades of multiple buildings within a single development shall be of similar architectural design, color and materials where facing or siding to a public street, internal access driveway / easement or pedestrian walkway, except that new buildings in the Market District shall incorporate façade features respectful of the architectural elements of the existing historical industrial buildings.
- 5. Screening walls, wing walls, columns, and similar building extensions and supports shall be of similar architectural design, color and materials as the building or structure to which they are attached.
- 6. Nothing in this document shall be construed as limiting a tenants' ability to utilize their particular trade dress, design standards, signage or architectural preferences within each individual storefront. Except as otherwise provided for in this Final Development Plan, signs that are visible from a public street or internal access driveway / easement shall comply with the requirements of Chapter 4, Sign Regulation, of the city's development code.

a2). **New Construction: Multi-Family Buildings**

- New multi-family building in the Market District shall incorporate design features respective of the architectural elements of the existing historical industrial buildings in the District.

The Multi-Family building shall use masonry brick design that is similar in color and pattern as the Char House.

Windows shall be vertically proportioned, generally with a vertical to horizontal ratio similar to the existing windows on the Char House.

Decorative cornice and precast lintels are required to complement existing industrial buildings

Additional elements shall be added to create a "loft" look at the main entry of the building.

- Multi-Family Development in the Market District shall complement the existing Historic industrial buildings in design, color, texture and/or other visual qualities.
- New construction may be differentiated from the old, but should be compatible with massing, size, and scale, and include distinctive architectural features, finishes and construction techniques that characterize the property.

1. Building façade finishes:

- a. Primary finishes include brick, stone (natural, cast, or cultured-textured), and glass. Textured concrete panels may be considered a primary material for the construction of the parking garage only.
- b. Primary finishes shall comprise at least 80% of each façade for multi-family building.
- c. Secondary finishes shall include textured concrete panels, wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), stucco and fiber cement siding, and shall comprise no more than 20% of the façade for any building.
- d. The Director may approve alternative Primary or Secondary Exterior Finishes not specified in this article if the Director determines that the alternative finish is respective of the architectural elements of the existing historical industrial buildings, substantially equal to or better than a specified Primary or Secondary exterior Finish in quality, durability, and appearance and the use thereof will not violate any provision of this article.

2. No single building finish material shall cover more than 80% of the front of any building.

3. All facades of an individual building and the facades of multiple buildings within a single development shall be of similar architectural design, color and materials where facing or siding to a public street, internal access driveway / easement or pedestrian walkway, except that new buildings in the Market District shall incorporate façade features respectful of the architectural elements of the existing historical industrial buildings.

4. Screening walls, wing walls, columns, and similar building extensions and supports shall be of similar architectural design, color and materials as the building or structure to which they are attached.

b) **Preservation of Historic Structures:**

The following structures, as shown below in Figure 8, that have historic, architectural and aesthetic significance shall be preserved and maintained through adaptive reuse.

- 1) Char House
- 2) 1929 Warehouse, aka: 3-bay warehouse
- 3) Silos
- 4) Engineering Building
- 5) Container Warehouse
- 6) Smokestacks

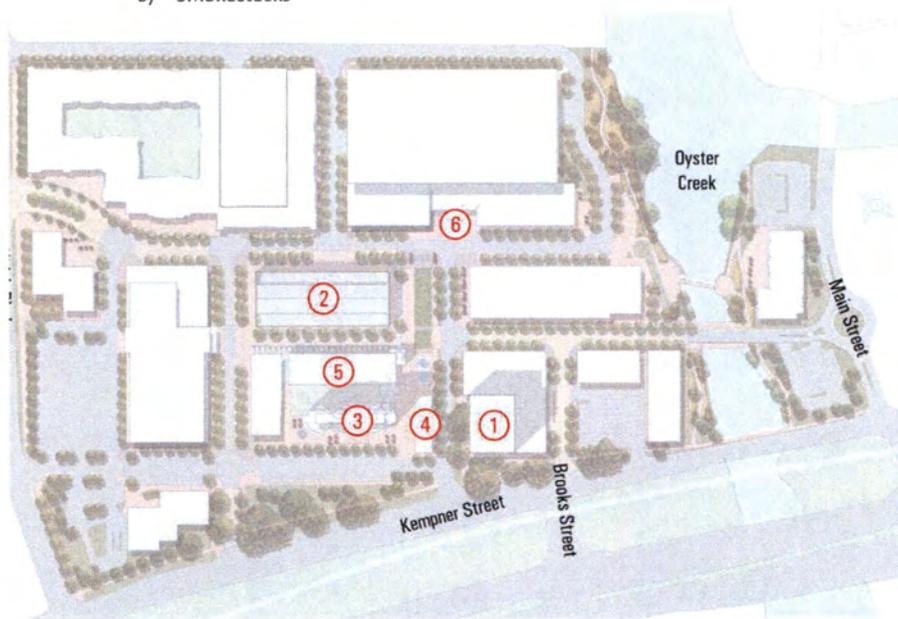


FIGURE 8.

In addition to the list of historic structures listed above, the “Char Kettle” and the “historic monument” located at the south side of the Char House will be preserved, maintained and or relocated in the redevelopment of the site.



The goals are to:

- Educate the community on the history, culture, and architecture of the former Imperial Sugar Refinery.
- Foster civic pride in the beauty and accomplishments of the past as represented in the existing historic structures.
- Preserve, promote, and maintain the historic resources existing on the site.
- Protect, and enhance the existing structures’ historic aesthetic appearance and character.

It is understood that the previous use of each of the existing structures will change and that those changes will result in alterations and new additions to the existing buildings. The developer will make only purposeful alterations in order to convert the existing buildings to accommodate the new uses and applicable leasing requirements of a multi-tenant commercial building.

Each existing structure shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development shall not be undertaken. Distinctive stylistic features or examples of skilled craftsmanship will be treated with sensitivity.

New additions, and/or exterior alterations shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of property and its environment.

The review of the appropriateness of the adaptive re-use of the existing buildings shall consider the following architectural criteria:

- Height. The height of the proposed alteration should be compatible with the style and character of the existing structure.
- Proportions of windows and doors. The proportions and relationship between doors and windows should be compatible with architectural style and character of the existing structure.
- Relationship of building masses and spaces. The relationship of a structure within the Market District to the open space between it and adjoining structures should be compatible.
- Scale. The scale of the structure after alteration, construction, or partial demolition should be compatible with its architectural style and character and with surrounding structures.
- Architectural details including types of materials, colors, and textures should be treated so as to make the existing structure compatible with its original architectural style and character and to preserve and enhance the architectural style and character of the Market District.

The review of the appropriateness of the adaptive re-use for each of the existing buildings shall be consistent with the design and character as illustrated in each of the respective elevations: Exhibits B-17, B-18, B-19, and B-20.

c) **Historic Artifacts**

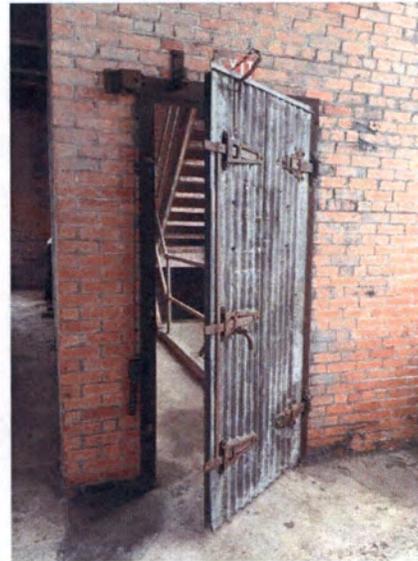


Historic artifacts, like these abandoned refinery equipment, will be added to the landscape to communicate the unique sense of place.



Objects, materials or natural things of functional, architectural, historical or scientific value that is related to the Imperial Sugar Refinery will be incorporated into the development of the site. Artifacts may include historic signage, bricks, smoke stacks, and/or old refinery equipment as an example. The following examples are intended to help illustrate the intent of the regulations included in the Planned Development.

Abandoned historic signage will be incorporated into the re-development.



Example of an existing architecture feature to remain.



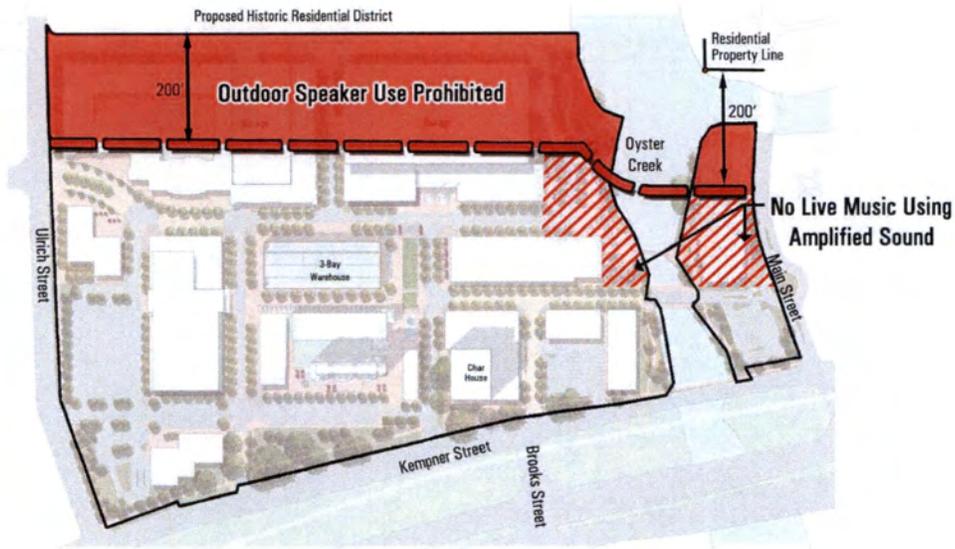
**G. Signage.**

1. Specific signage identifying the overall development on or on top of the Silos, as well as the Char House individually will be unique to this PD and will have alternative standards from the overall City signage ordinances. Such signage will be submitted for approval by the Director prior to installation.
  - a. Signage identifying the overall development on the silos will be limited to letter forms 90" tall, with the top of sign not exceeding 150 feet as measured from ground level.
  - b. The existing "Imperial Sugar" sign on the Char House will be repaired and remain in its current location on the building. New tenant signage on the Char House will be mounted lower and will use smaller letter forms than the "Imperial Sugar" sign.
  - c. The existing "Imperial Sugar" sign painted on the south side of the Silos will be preserved and repainted in the same look and size as maintenance is needed.
2. There is the anticipated need for electronic/moving/animated signage for specific uses within the PD. Such signage shall only be visible from internal access driveway/easements within the PD and not from any public street or thoroughfare (such as U.S. Highway 90, Kempner Street, Main Street, Ulrich Street or the future public street along the north side of the Final Development Plan boundary). And are limited to the following:
  - a. The Cinema building may require an electronic marquee-type sign which may employ movement or animation. The area permitted for electronic, animated signage shall not exceed 500 square feet, and shall not exceed a maximum 25 feet high.
  - b. A "ticker sign" displaying news, advertisements, financial information, etc. may be installed on the building façades forming the courtyard surrounding the Smokestacks. The maximum height of the electronic sign shall not exceed twenty four inches, 24".
3. Signage for individual retail store fronts will be consistent with the existing City signage ordinances.
4. Murals depicting images of historic Imperial Sugar advertising and/or other historic images are being contemplated in various locations. Such installations are not intended as commercial signage but as a visual reminder of the historic authenticity of the site. Murals will not be permitted on the multi-family building, multi-family garage, the Char House or visible from any existing or future public street and will not be subject to City signage ordinances. Below is an example of a mural and how it may be used.



**H. Additional Regulations.**

1. Outdoor speaker use is prohibited in the areas shown below on Figure 9. Outdoor speakers shall be oriented away from the nearest single family or townhome lot line. No live musical performances using amplified sound is permitted outside of any building in the cross hatched area on both sides of Oyster Creek as shown on Figure 9.



**FIGURE 9.**

2. Drive-thru lanes are prohibited for all other uses within the Imperial Market District, except for banking services, to be located at the corner of Ulrich and Kempner Street.
3. Approved fire apparatus access roads shall extend the entire length on one (1) side of buildings three (3) or more stories in height, and shall be located within a minimum of fifteen (15) feet and a maximum of thirty (30) feet.

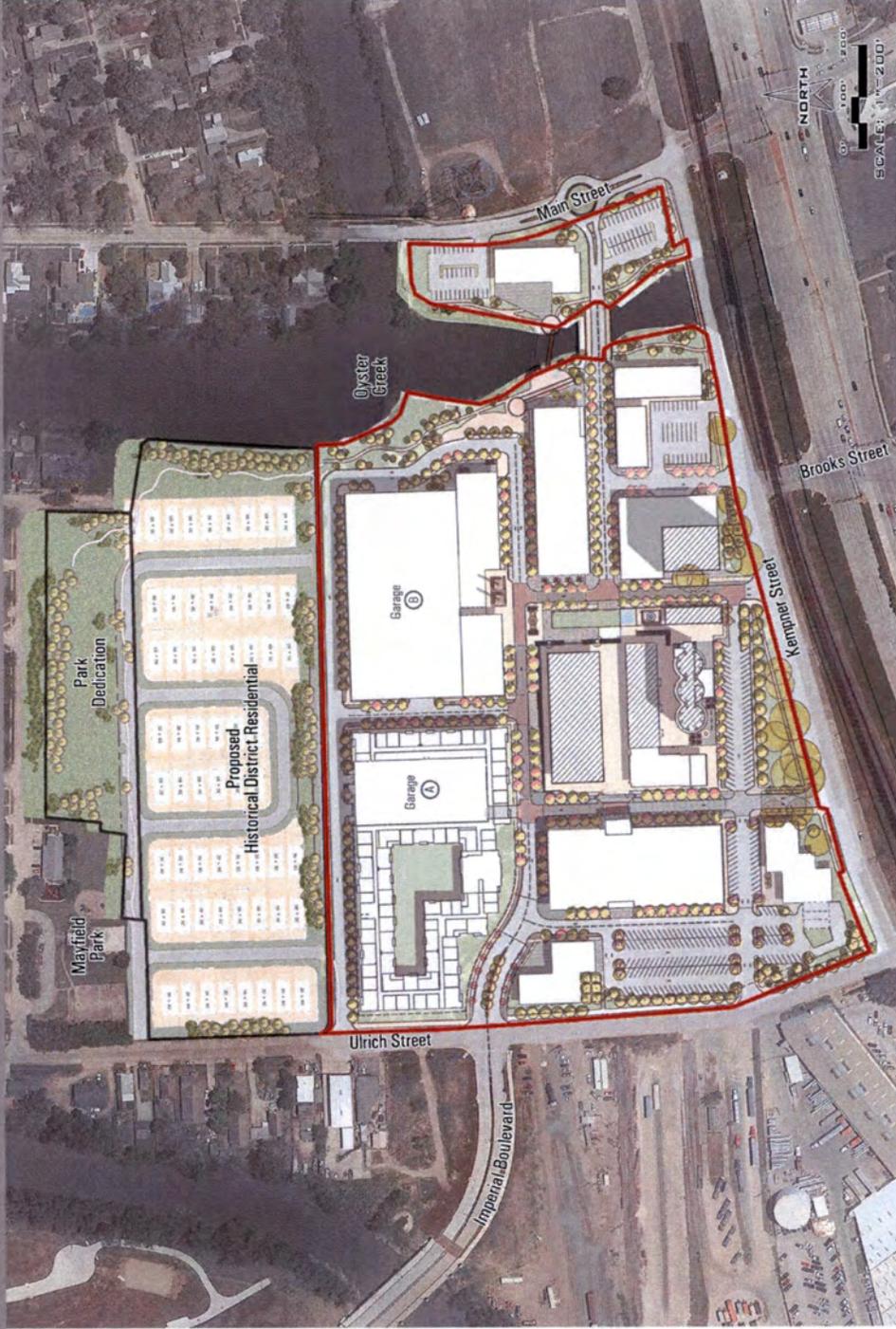


IMPERIAL MARKET DISTRICT  
26.64 ACRES



SCALE: 1" = 1000'

SITE LOCATION  
EXHIBIT B-18:  
VICINITY PLAN



**IMPERIAL MARKET**  
SUGAR LAND, TX  
198 Kemper Street  
Sugar Land, TX 77478



IMPERIAL MARKET DISTRICT



**SITE LOCATION**  
**EXHIBIT B-1 C:**  
**SITE PLAN**  
**26.64 ACRES**

PROPOSED HISTORIC RESIDENTIAL DISTRICT  
**Tract I - 24.89 Acres**

**Tract II - 1.75 Acres**

**LEGEND**

- MULTI-FAMILY RESIDENTIAL (MF)
- COMMERCIAL / RETAIL (1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14)
- VERTICAL MIXED COMMERCIAL USE (2, 3, 10, 11)
- MUSEUM/GALLERY (M)
- HOTEL (H)
- PARKING GARAGE (A, B)
- EXISTING BUILDINGS (hatched pattern)



**IMPERIAL MARKET**  
 Sugar Land, TX  
 198 Kempner Street  
 Sugar Land, TX 77478



IMPERIAL MARKET DISTRICT

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

USES	SIC CODE	NOTE	Ground Floor	Upper Floor
<b><u>RETAIL TRADE</u></b>				
Department Stores	5311	6	x	x
Misc. General Merchandise Stores	5399	5	x	x
Grocery stores	5411	5	x	
Fruit and Vegetables Markets	5431		x	x
Candy, Nut and Confectionery Stores	5441		x	x
Dairy Products Stores	5451		x	x
Retail Bakeries	5461		x	x
Men's and Boy's Clothing Stores	5611	5	x	x
Women's Clothing Stores	5621	5	x	x
Women's Accessory and Specialty Stores	5632	5	x	x
Children's and Infant's Wear Stores	5641	5	x	x
Family Clothing Stores	5651	5	x	x
Shoe Stores	5661	5	x	x
Misc. Apparel and Accessory Stores	5699	5	x	x
Furniture and Home Furnishing Stores	5712-5719	6	x	x
Radio, Television and Computer Stores	5731-5736	5	x	x
Eating Places to include restaurants, cafes, etc.	5812		x	x
Drinking Places to include alcoholic beverages	5813	7	x	x
Drug Stores and Proprietary Stores	5912	5	x	x
Wine and Liquor Stores	5921	4	x	x
Antique Stores	5932	5	x	x
Sporting Goods Stores and Bicycle Shops	5941	5	x	x
Book Stores	5942	5	x	x
Card and Stationary Stores	5943	5	x	x
Jewelry Stores	5944	5	x	x
Craft, Hobby, Toy, and Game Stores	5945	5	x	x
Camera and Photographic Supply Stores	5946	5	x	x
Gift, Novelty, and Souvenir Shops	5947	5	x	x
Luggage and Leather Goods Stores	5948	5	x	x
Sewing and needlework Stores	5949	5	x	x
Florist Shops	5992		x	x
Art Supply Stores	5999	5	x	x
Art Dealers	5999	5	x	x
Baking and Cake Decorating Supply Stores	5999	5	x	x
Cosmetic stores	5999	5	x	x

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

USES	SIC CODE	NOTE	Ground Floor	Upper Floor
<b><u>FINANCIAL, INSURANCE, AND REAL ESTATE</u></b>				
Commercial Banks	6021-6029	14	2	X
Savings Institutions	6035-6036	14	2	X
Credit Unions	6061-6062	14	2	X
Foreign Bank, Branches, and Agencies	6081-6082	14	2	X
Non-Deposit Trust Facilities	6091	1,14	2	X
Federal and federal-sponsored credit	6111	14	2	X
Personal credit institutions	6141	14	2	X
Business credit institutions	6153-6159	14	2	X
Mortgage bankers and brokers	6162-6163	14	2	X
Security Brokers	6211-6289	14	2	X
Insurance carriers	6311-6399	14	2	X
Insurance agents, brokers and service	6411	14	2	X
Operators of non-residential buildings	6512			X
Operators of apartment buildings (off-site management only)	6513			X
Operators of dwellings other than apartment buildings	6514			X
Real estate agents and managers	6531			X
Title abstract offices	6541			X
Holding and other investment offices, open-end	6722-6799			X
Management investment offices, open-end	6722-6799			X
<b><u>SERVICES</u></b>				
Hotels	7011	13	X	X
Photographic Studies, Portrait	7221		X	X
Beauty Shops	7231		X	X
Barber Shops	7241		X	X
Tax Preparation Services	7291			X
Advertising agencies	7311			X
Outdoor advertising services	7312			X
Radio, television, and publishers' representatives	7313			X
Advertising services	7319			X
Credit reporting and collection	7322-7323			X
Computer Programming Services	7371			X
Computer and data processing	7371-7370			X
Data Processing, Hosting, and related services	7389			X
Financial Transactions Processing, reserve and clearinghouse activities	7389			X
Other legal services, Only as follows:	7389			X
• Patent agents				
• Notaries				
• Public and paralegal services				
Drafting Services	7389	9		X
Building Inspection Services	7389	9		X
Surveying and Mapping (except Geophysical) Services	7389	9		X

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

USES	SIC CODE	NOTE	Ground Floor	Upper Floor
Interior Design Services	7389	9		x
Industrial Design Services	7389	9		x
Other Specialized Design Services	7389	9		x
Advertising Material Distribution Services	7389			x
Translation and Interpretation Services	7389			x
Document Preparation Services	7389			x
Watch, clock and jewelry repair	7631		x	x
Motion picture theaters (no drive-in)	7832		x	x
Producers, Orchestras and Entertainers	7922-7929			x
Bowling centers	7933		x	x
Professional Sports Clubs & Promoters	7941			x
Physical Fitness Facilities	7991	6		x
Membership Sports and Recreation Clubs	7997	6		x
Amusement and Recreation Services, not otherwise classified	7999	6	x	x
but limited to:				
• Bridge Club (non-membership)				
• Bridge Instruction				
• Fishing Piers and Lakes, Operation				
• Sports Instructional				
• Yoga Instruction and Studios				
• Art and Music Instruction and Studios				
<b>Health Services:</b>				
Offices & Clinics of Medical Doctors	8011			x
Offices & Clinics of Dentists	8021			x
Offices of Osteopathic Physicians	8031			x
Offices of Other Health Practitioners	8041-8049			x
Health and Allied Services NEC	8099	3		x
<b>Misc. Services:</b>				
Libraries	8231		x	x
Museums and Art Galleries	8412		x	x
Botanical and Zoological Gardens	8422		x	x
Engineering services	8711	9		x
Architectural services	8712	9		x
Surveying services	8713	9		x
Accounting, Auditing, and Bookkeeping Services	8721			x

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

USES	SIC CODE	NOTE	Ground Floor	Upper Floor
Research and testing services	8731-8734			X
Management Consulting Services	8742			X
Public Relation Services	8743			X
Misc. Business Consulting Services	8748			X
<b><u>NON-CLASSIFIABLE ESTABLISHMENTS</u></b>				
Dwellings - multifamily	99		X	X
Parks/Recreational Facilities, Public or Private	99		X	X
Corporate Professional Offices, Not Retail	99	8	X	X
Automobile showroom	99	12		
Micro-Breweries and BrewPubs	99	10	X	X
Micro-Winery and Urban Winery	99	11		

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

**NOTES:**

**Uses within the PD must be developed in compliance with the following conditions:**

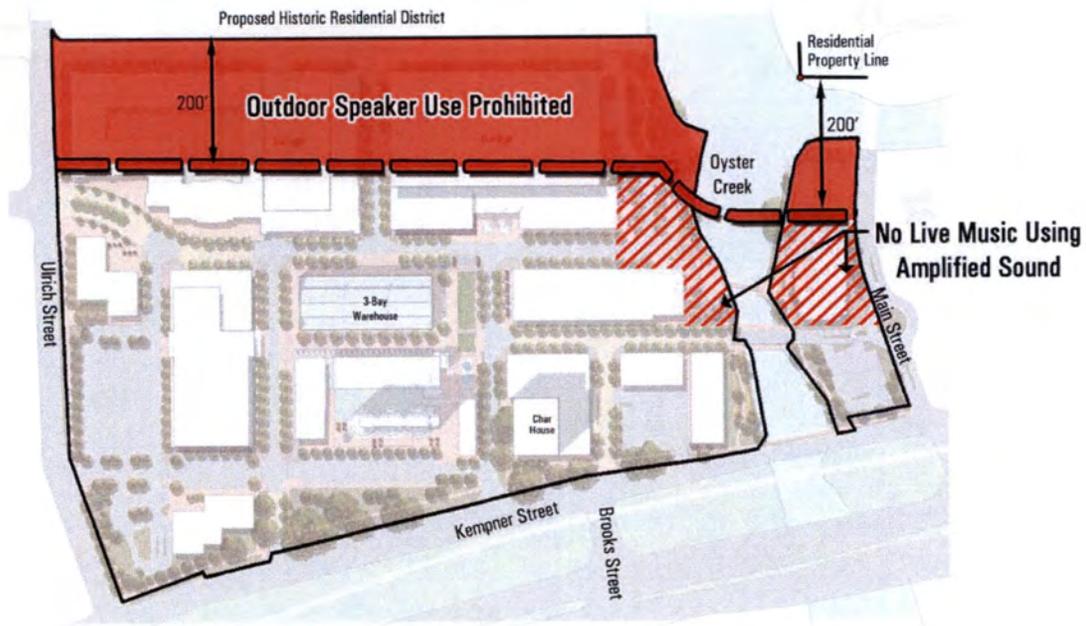
1. Functions Closely Related to Banking (SIC6091) excludes check cashing, credit access businesses, and motor vehicle title loans (as defined in Chapter 393 of the Texas Financial Code).
2. Total sum of Financial, Insurance and Real Estate uses (SIC Code 6021-6799) is limited to no more than 10,000 s.f. of ground floor occupancy. Drive-thru lanes are prohibited for all uses except banking services to be located only at the corner of Ulrich and Kempner Street.
3. Health and Allied Services NEC (SIC 8099) includes massage establishments (as defined by Chapter 454 of the Texas Occupation Code).
4. Subject to a maximum of 10,000 square feet gross leasable area per establishment.
5. Subject to a maximum of 25,000 square feet gross leasable area per establishment.
6. Subject to a maximum of 35,000 square feet of gross leasable area per establishment.
7. Conditions for Drinking Places ( Does not include Micro-Brewery or BrewPub) (SIC 5813)
  - (a) Use not permitted within 300 feet of any existing Single Family Lot Line.
  - (b) No Drinking Place shall be greater than 12,500 square feet per establishment.
8. Total sum of Corporate Professional Office is limited to no more than 30,000 square feet of ground floor occupancy. There is no limit on the amount of office above the ground floor.
9. Fleet vehicle parking is prohibited within the District.
10. Conditions for Micro-Brewery, BrewPub
  - (a) Limited to a maximum 15,000 barrels of beer per year.
  - (b) Wholesale distribution of alcohol is not permitted.
  - (c) Use not permitted within 300 feet of any existing Single Family Lot Line.
  - (d) No Micro-Brewery or BrewPub shall be greater than 15,000 square feet per establishment.
11. Conditions for Micro-Winery , Urban Winery
  - (a) Limited to a maximum 2,500 barrels per year.
  - (b) All equipment, production waste and product must be stored indoors
  - (c) Use not permitted within 300 feet of any existing Single Family Lot Line.
  - (d) No Micro-Winery or Urban Winery shall be greater than 10,000 square feet per establishment.
12. Conditions for Automobile Showroom
  - (a) Limited to a maximum 3,000 square feet gross leasable area.
  - (b) For the display of up to a maximum five (5) new vehicles and merchandise.
  - (c) All floor-model vehicles are limited for display only – not for actual sale.
  - (d) Display must be confined to interior spaces only.
  - (e) No parts, no maintenance, no repairs to be provided on the site.
13. Restricted to full service, select service or a custom select service hotel, to be located within the historic Char House, subject to the following conditions:
  - (a) At a minimum a custom select hotel must provide not less than 2,000 square feet of conference space, a Pool and Fitness Center.
  - (b) A restaurant accessible through the interior of the hotel that offers made-to-order food and accommodates at least 30 patrons.
  - (c) Guest rooms may be accessible only through interior corridors;

**EXHIBIT B-2  
PERMITTED USE LIST  
IMPERIAL MARKET DISTRICT**

- (d) Entrance through exterior doors must be secured and accessible only to guests and employees;
  - (e) Hotel management must be on-site 24 hours each day;
  - (f) Prohibit overnight parking of trucks with more than two axles and recreational vehicles in the hotel's parking lot and parking garage, erect signs in compliance with Chapter 2308 of the Texas Occupations Code stating those vehicles will be towed from the hotel property;
  - (g) Except for not more than five percent of the total number of guest rooms, guestrooms in a hotel may not contain any Cooking Facility;
  - (h) Delivery service areas must be screened from the view of any right-of-way or residential area by masonry walls
14. Drive-thru lanes are prohibited for all other uses within the Imperial Market District, except for banking services, to be located at the corner of Ulrich and Kempner Street, subject to the following conditions:
- (a) Maximum 4 drive thru lanes.
  - (b) Canopy column facades shall be 100% brick and/or stone.
  - (c) Canopies shall have a pitched roof and shall be integrated into the architecture of the bank building.
  - (d) Lighting shall be recessed under any canopy and in fixtures throughout the site.

For All Uses:

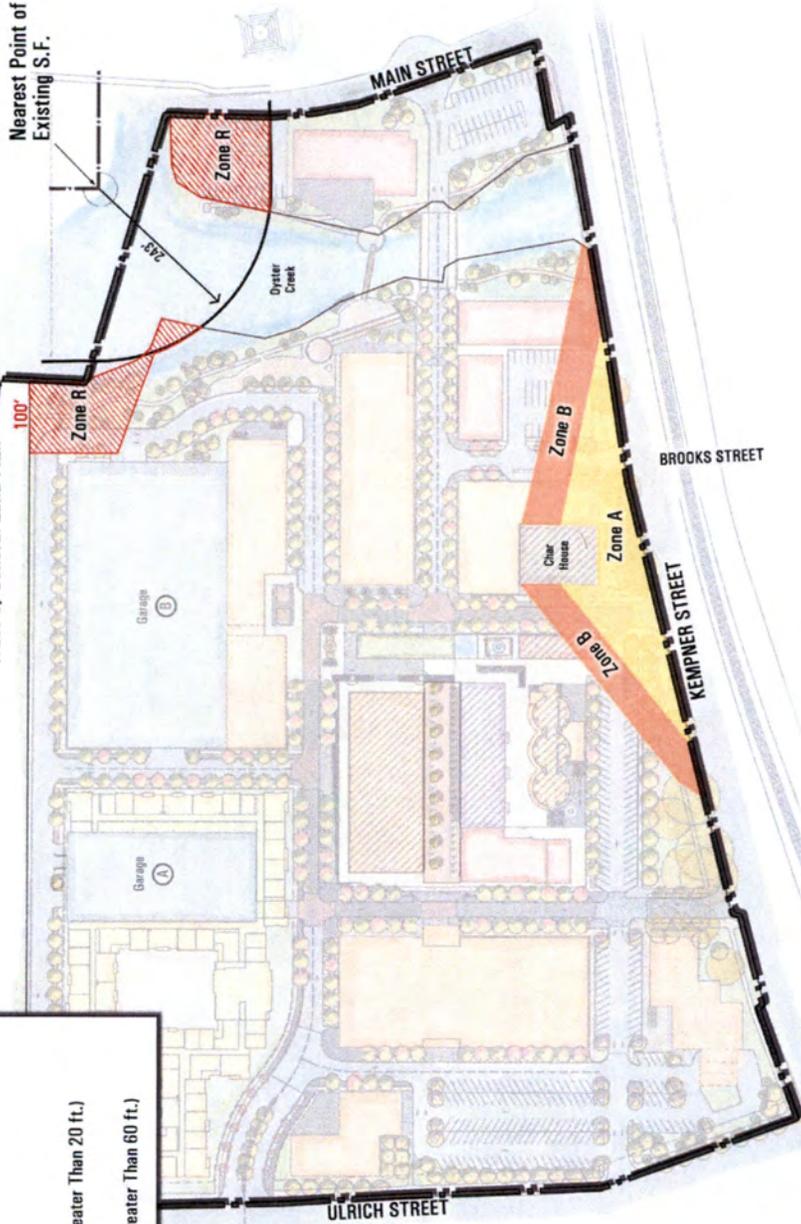
Outdoor speaker use is prohibited in the areas shown on Exhibit B, Figure 9. Outdoor speakers shall be oriented away from the nearest single family or townhome lot line.



**DEVELOPMENT REGULATIONS**

**EXHIBIT B-3:  
NO BUILDING AREAS &  
VIEW CORRIDOR ZONES**

**Boundary of Imperial Sugar  
Tract 3, General Land Plan**



**Legend**

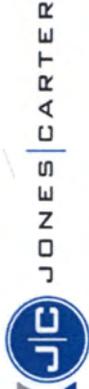
	<b>Zone R</b> (No Building Areas)
	<b>Zone A</b> (Height Restriction No Greater Than 20 ft.)
	<b>Zone B</b> (Height Restriction No Greater Than 60 ft.)



**IMPERIAL MARKET**  
SUGAR LAND, TX  
198 Kempner Street  
Sugar Land, TX 77478



**IMPERIAL MARKET DISTRICT**



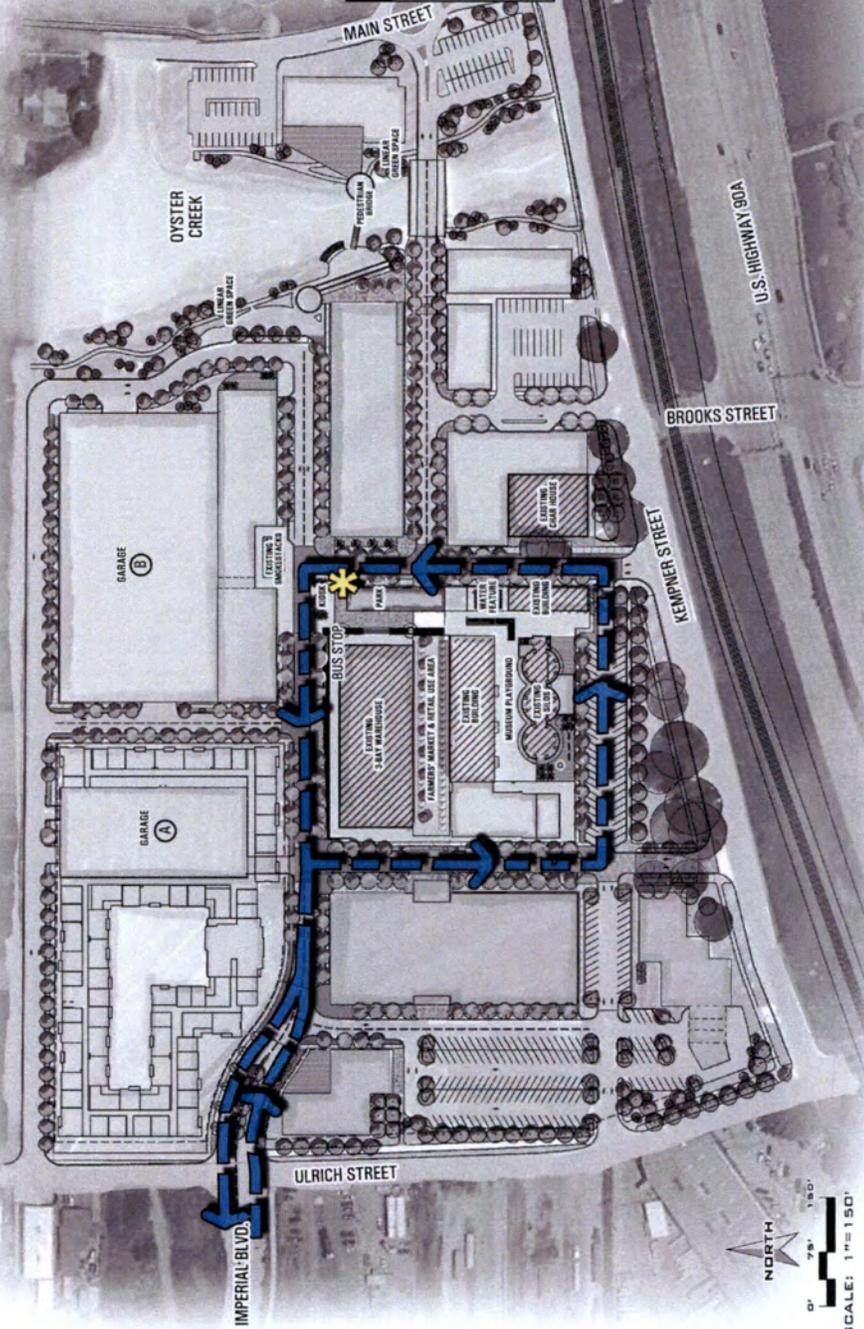




CIRCULATION

EXHIBIT B-6:  
INTERNAL SHUTTLE  
CIRCULATION PLAN

PROPOSED HISTORIC RESIDENTIAL DISTRICT



**LEGEND**

- ➔ PROPOSED IMPERIAL SHUTTLE ROUTE
- ★ PROPOSED SHUTTLE STOP

**IMPERIAL MARKET**  
Sugar Land, TX  
198 Kempner Street  
Sugar Land, TX 77478

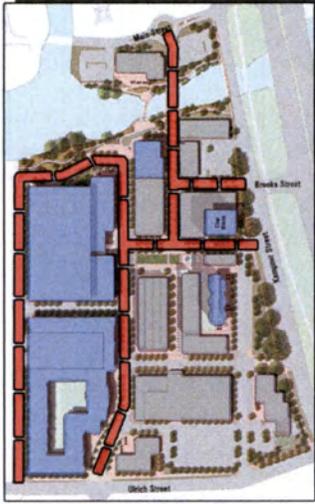


IMPERIAL MARKET DISTRICT

**J+C** JONES CARTER

CIRCULATION

EXHIBIT B-7:  
FIRE APPARATUS  
ACCESS EXHIBIT



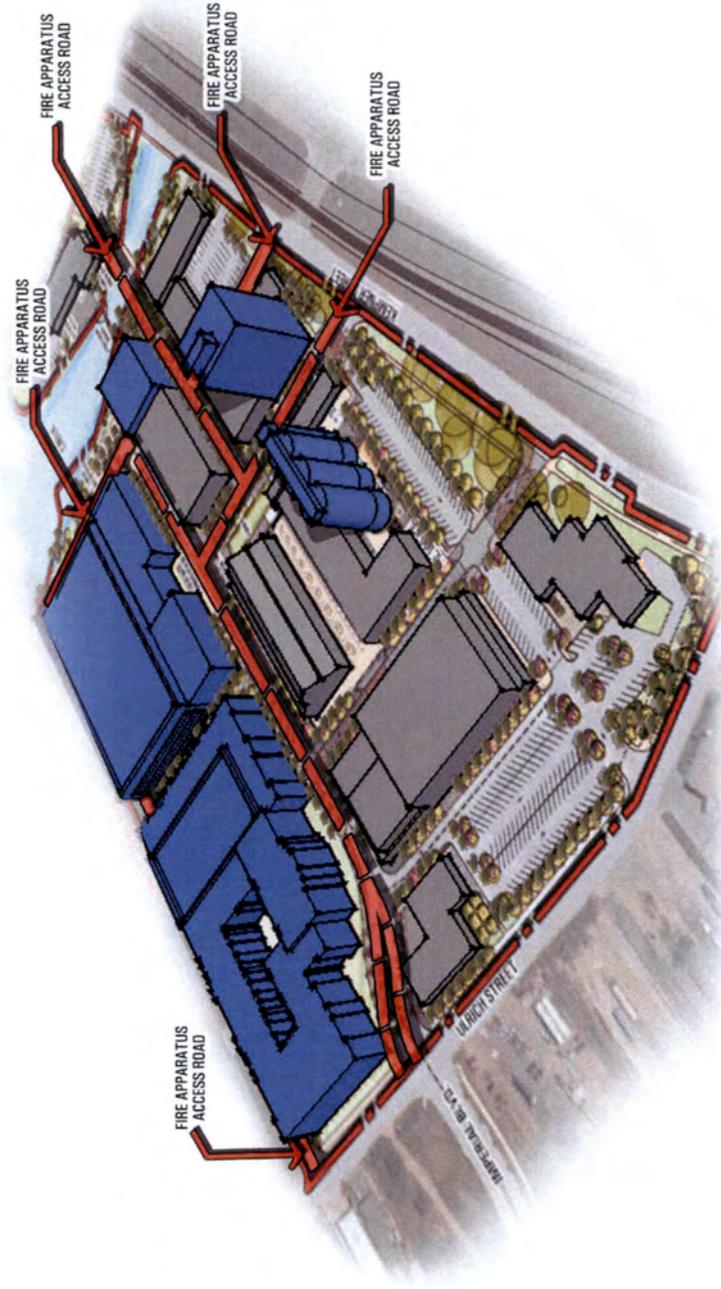
*\* (Fire Apparatus Access Roads Highlighted in Red)*

LEGEND

- BUILDINGS LESS THAN 3 STORIES IN HEIGHT
- BUILDINGS 3 OR MORE STORIES IN HEIGHT
- FIRE APPARATUS ACCESS ROAD



198 Kempner Street  
Sugar Land, TX 77478



JONES | CARTER

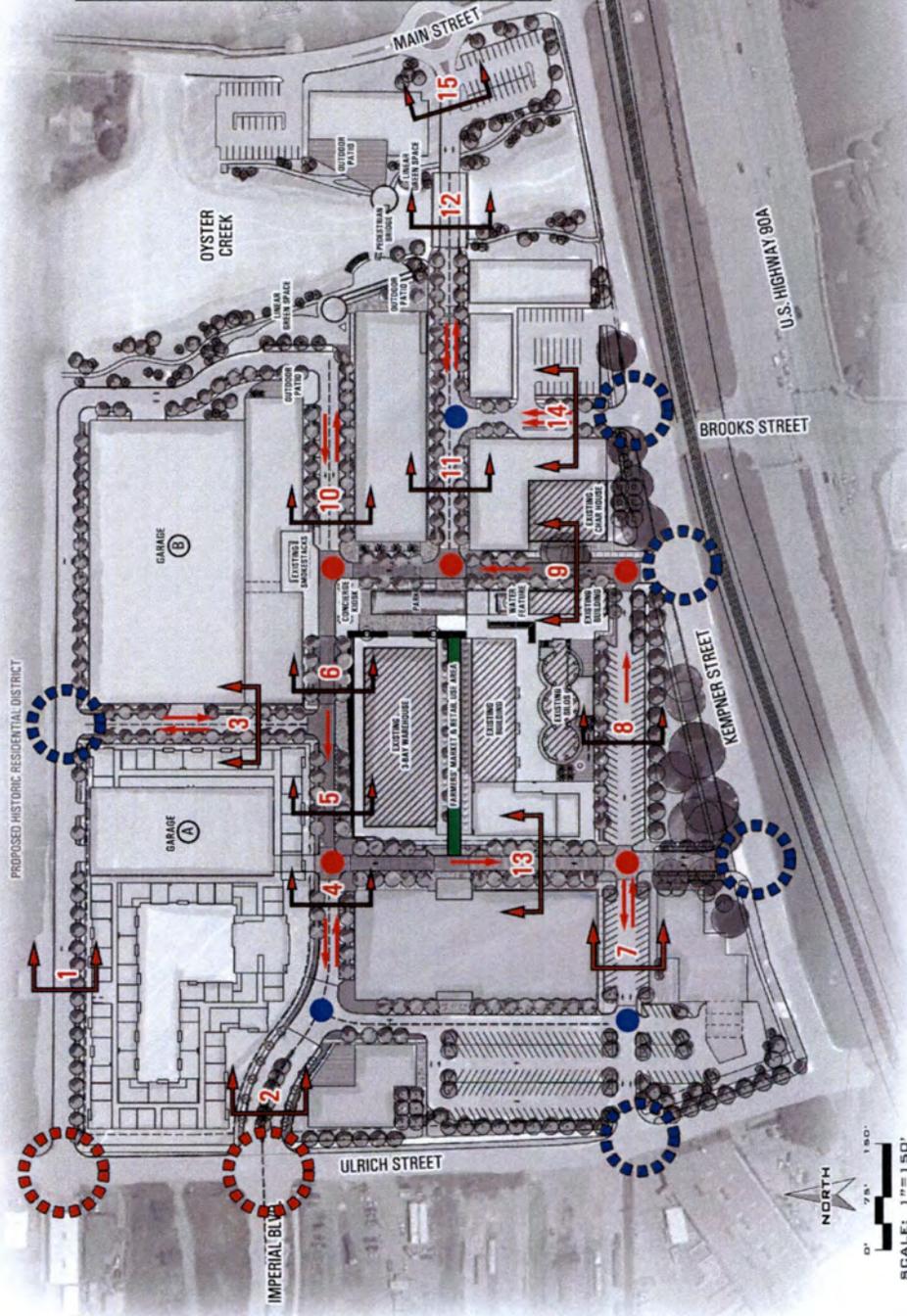


IMPERIAL MARKET DISTRICT

**CIRCULATION**  
**EXHIBIT B-8:**  
**CROSS SECTION**  
**REFERENCE EXHIBIT**

**LEGEND**

- DENOTES TRAFFIC DIRECTION
- 30' CURB RETURN RADIUS
- 25' CURB RETURN RADIUS
- 24' MINIMUM CURB RETURN RADIUS FOR STREETS WITH 20' WIDE PAVING
- 20' MINIMUM CURB RETURN RADIUS FOR STREETS WITH 24' WIDE PAVING
- REQUIRES 20' FIRE ACCESS LANE
- 15 NUMBERS 1-15 INDICATE CROSS SECTIONS



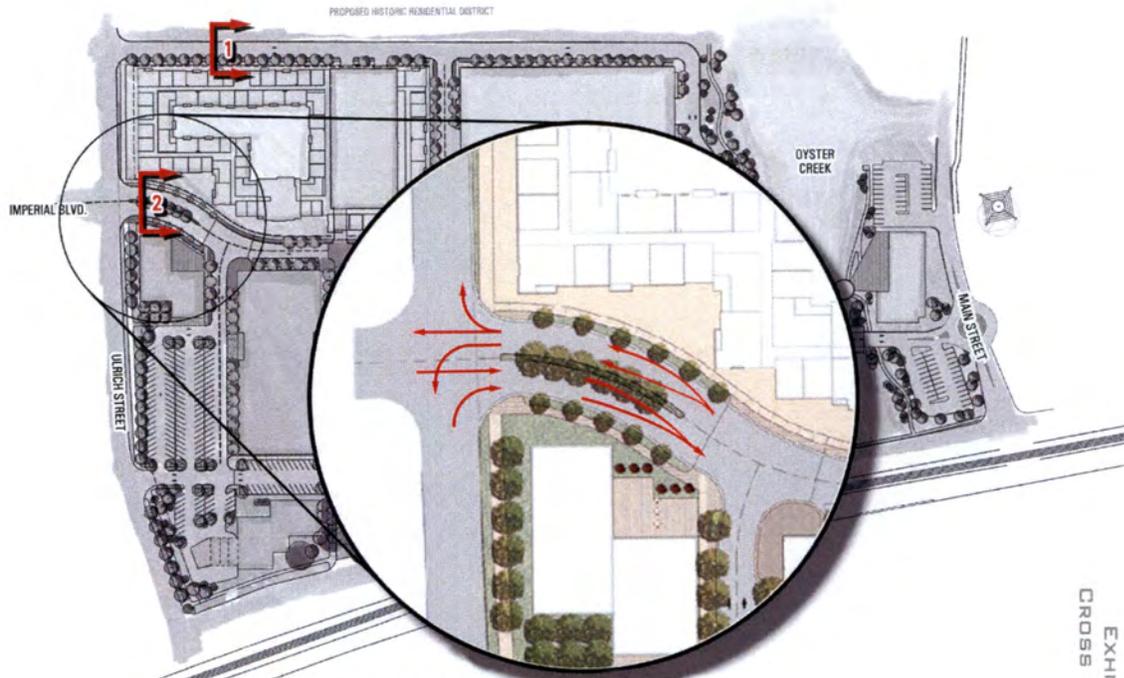
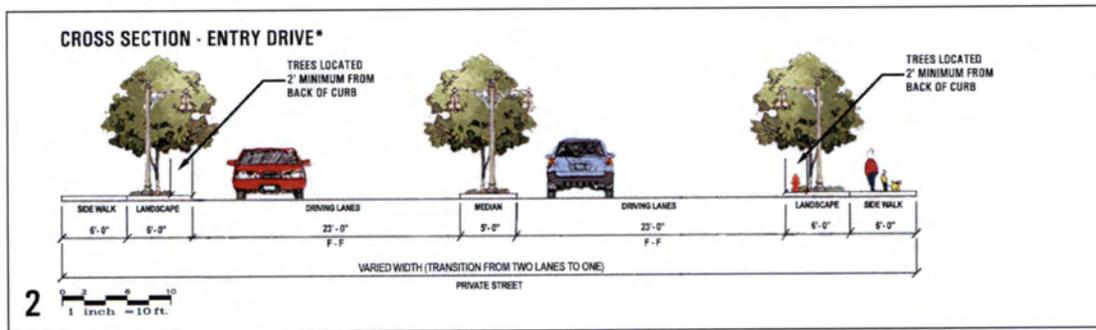
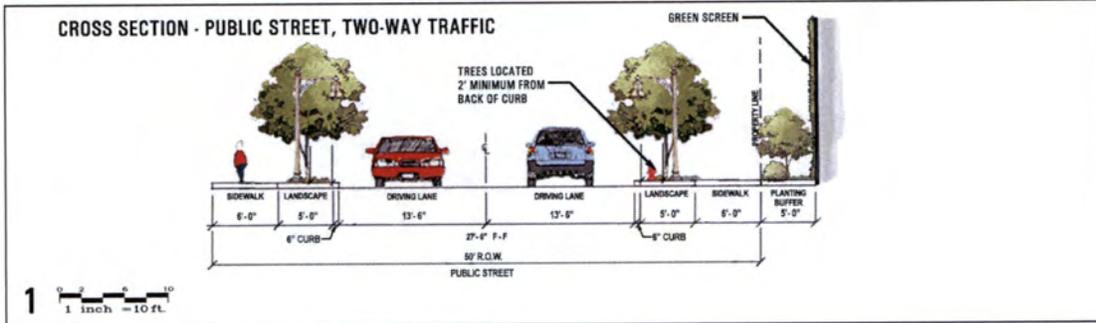
**IMPERIAL MARKET**  
 Sugar Land, TX  
 198 Kempner Street  
 Sugar Land, TX 77478



IMPERIAL MARKET DISTRICT

**JKC** JONES | CARTER

EXHIBIT B-8A:  
CROSS SECTIONS  
1 & 2



\*Detailed View to Show Transition from Two Lanes to One.

0' 100' 200' 400'  
SCALE: 1"=200'

EXHIBIT B-8A:  
CROSS SECTIONS  
1 & 2



JONES | CARTER

IMPERIAL MARKET DISTRICT

EXHIBIT B-8b:  
CROSS SECTIONS  
3 & 4

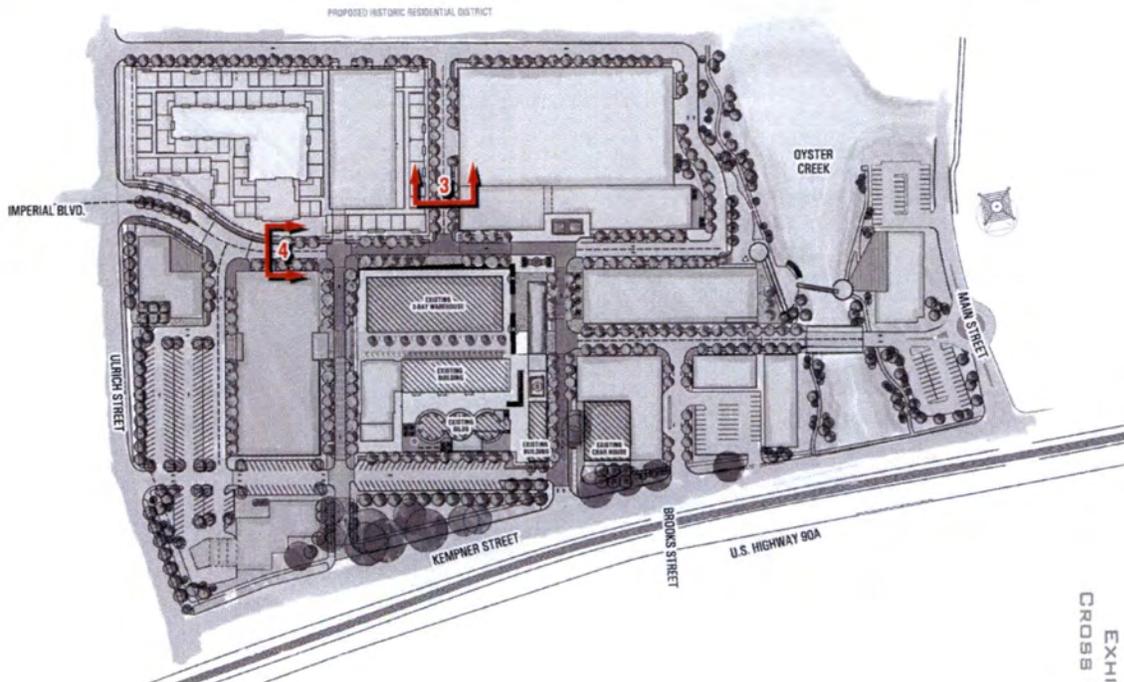
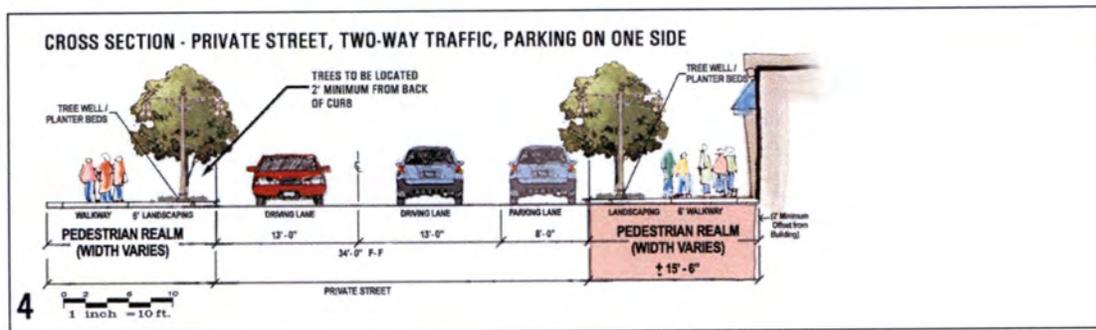
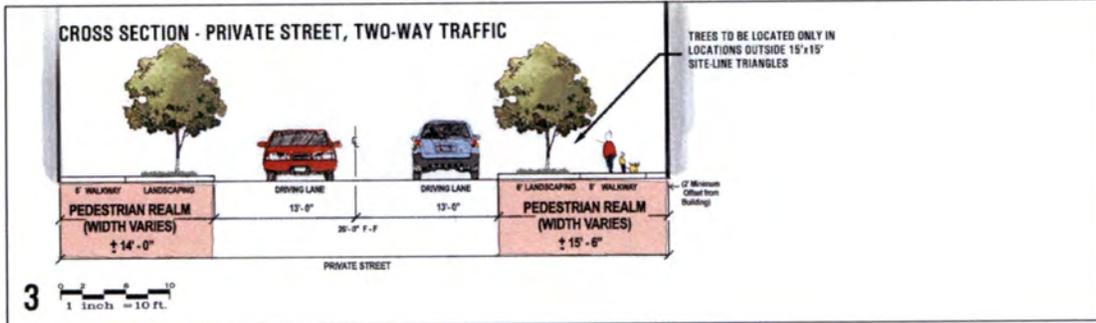


EXHIBIT B-8b:  
CROSS SECTIONS  
3 & 4



JONES CARTER

IMPERIAL MARKET DISTRICT

EXHIBIT B-8C:  
CROSS SECTIONS  
5 & 6

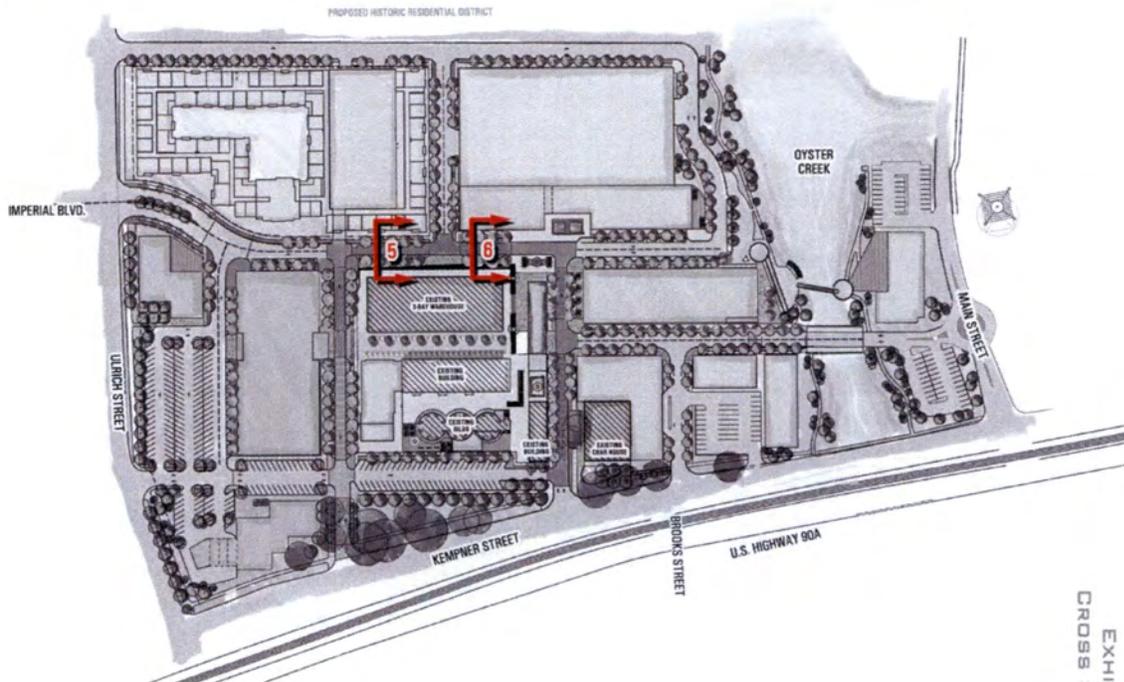
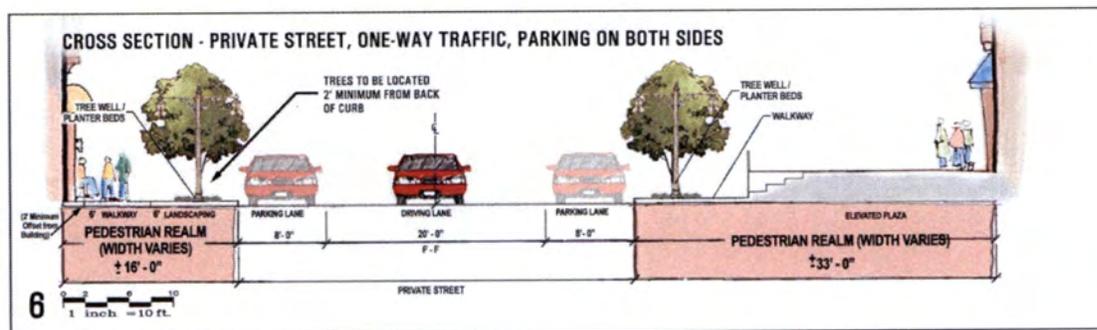
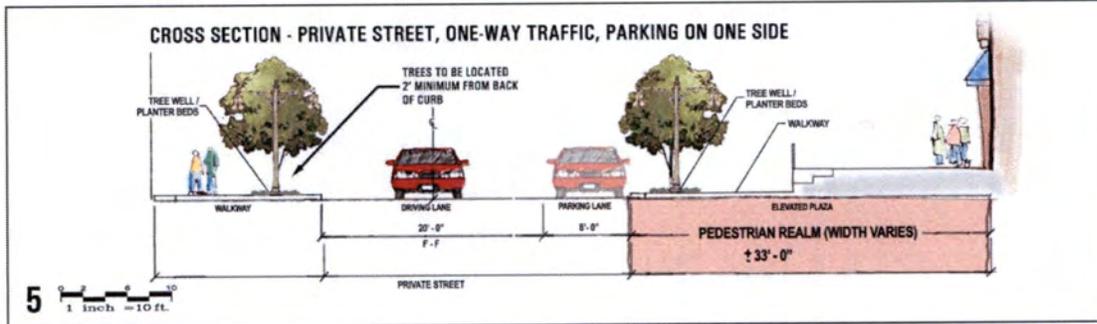


EXHIBIT B-8C:  
CROSS SECTIONS  
5 & 6



JONES | CARTER

IMPERIAL MARKET DISTRICT

CIRCULATION

EXHIBIT B-8D:  
CROSS SECTIONS  
7 & B

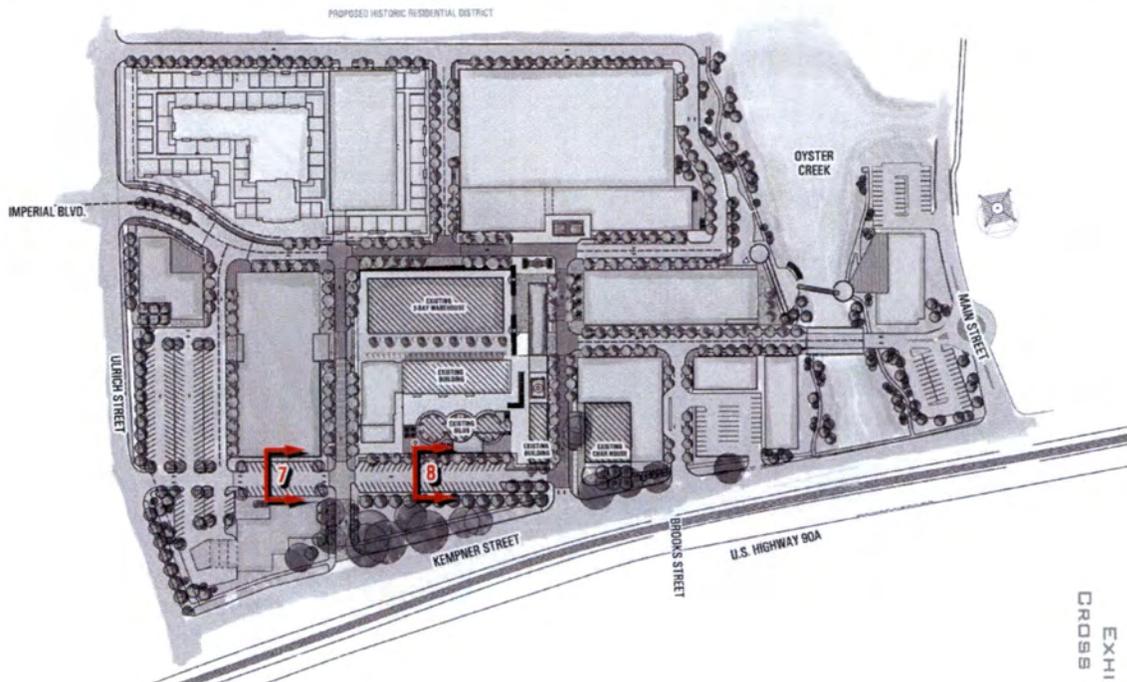
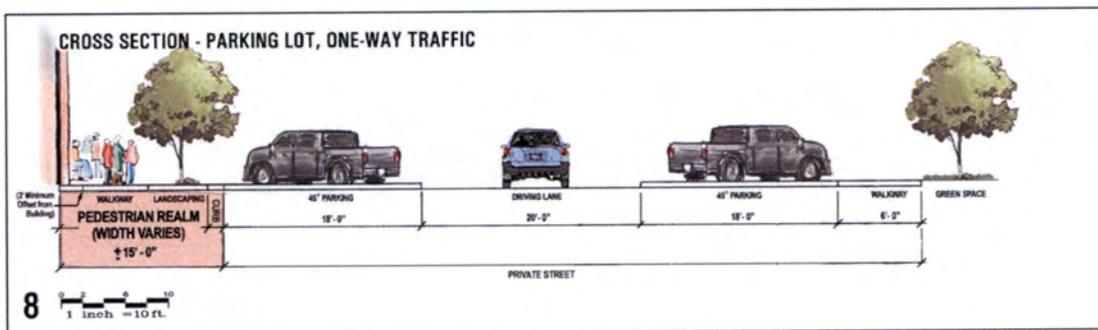
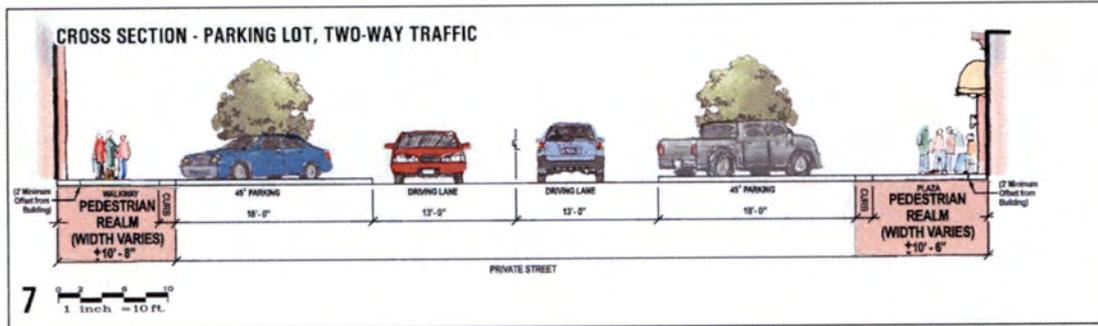


EXHIBIT B-8D:  
CROSS SECTIONS  
7 & B



JONES | CARTER

IMPERIAL MARKET DISTRICT

EXHIBIT B-8E:  
CROSS SECTIONS  
9 & 10

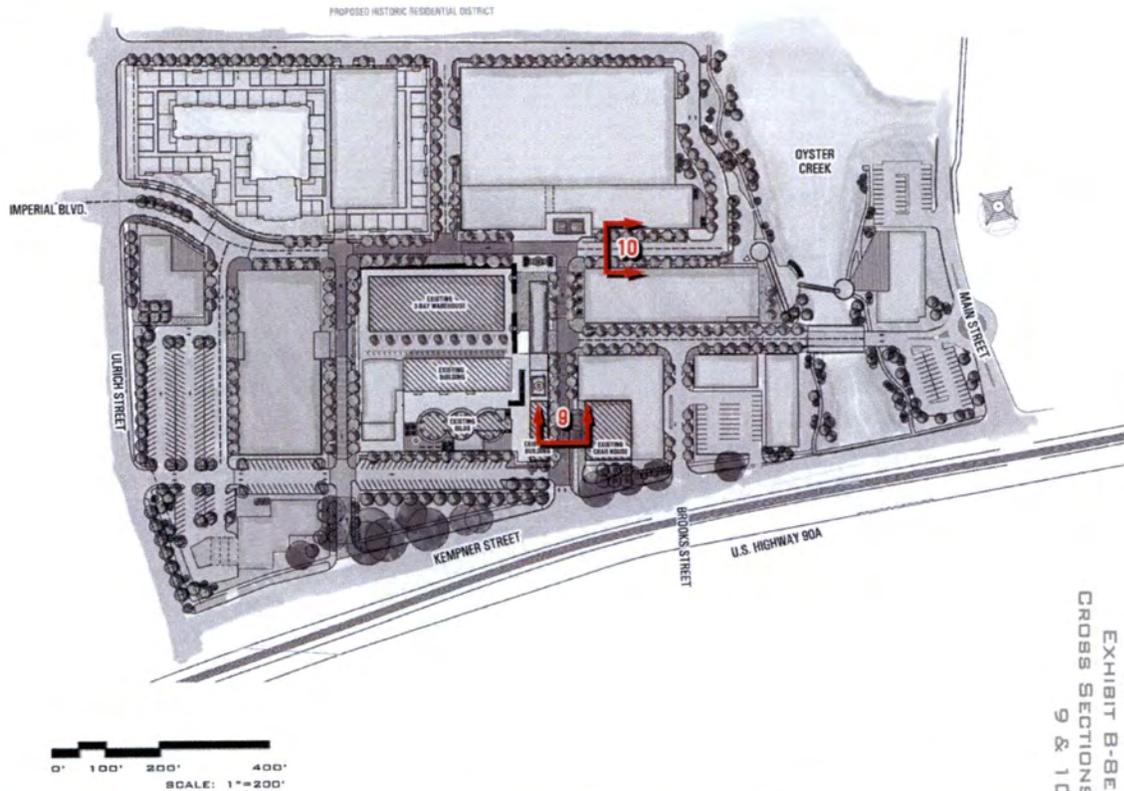
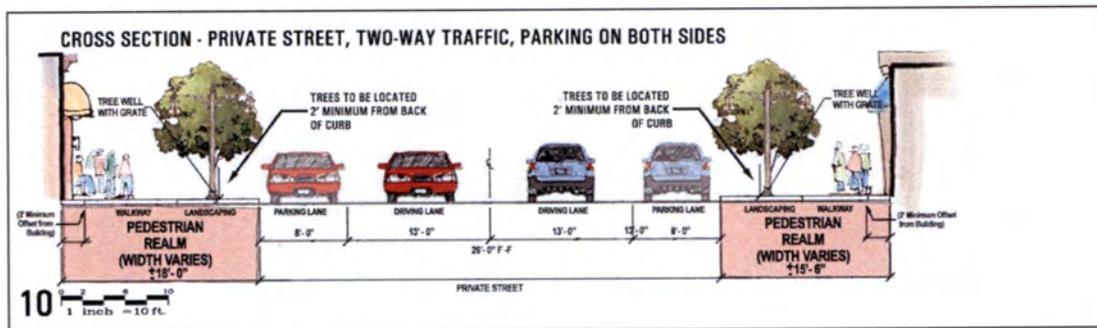
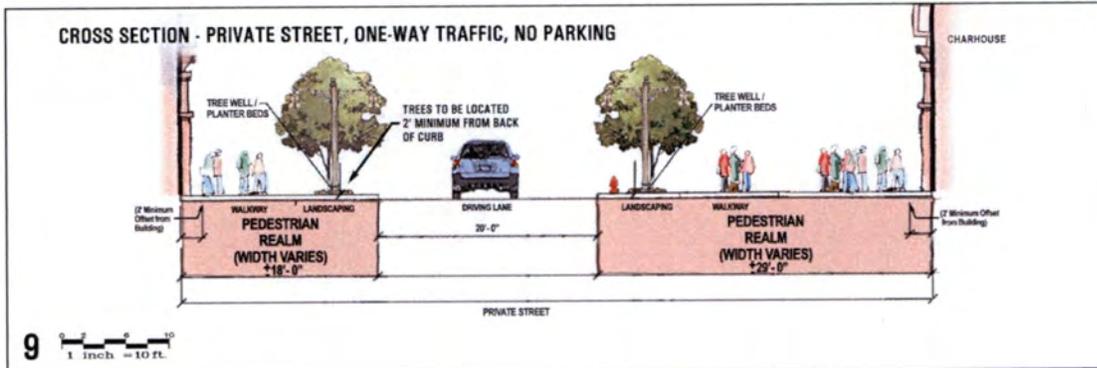
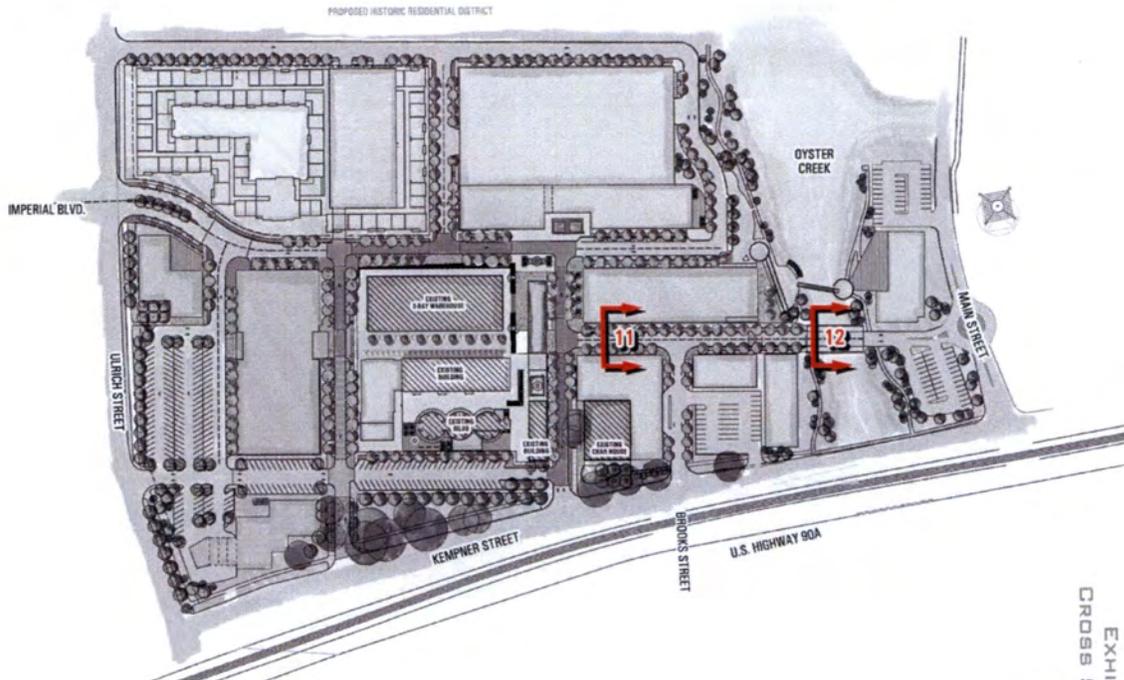
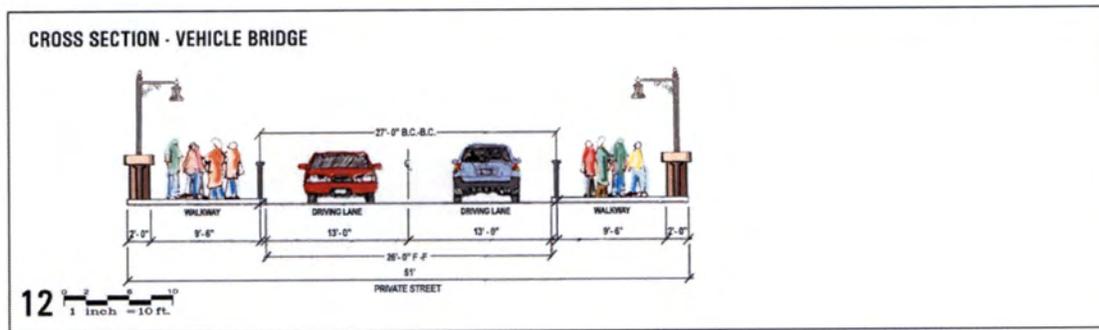
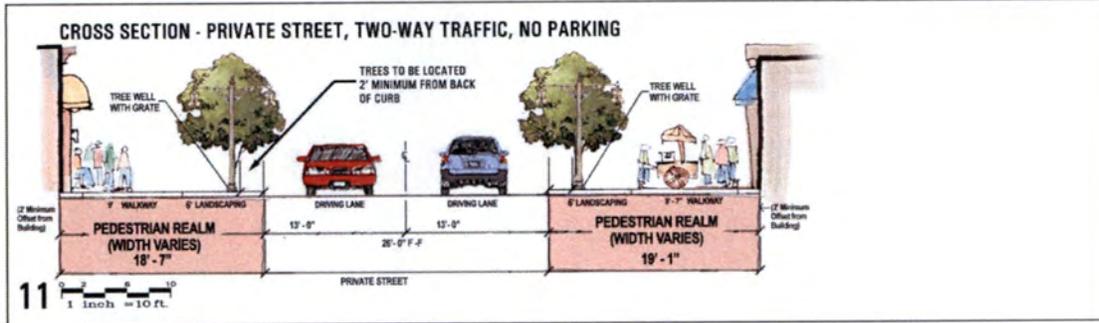


EXHIBIT B-8E:  
CROSS SECTIONS  
9 & 10



JONES CARTER

IMPERIAL MARKET DISTRICT



0' 100' 200' 400'  
SCALE: 1"=200'

EXHIBIT B-8F:  
CROSS SECTIONS  
11 & 12



JONES | CARTER

IMPERIAL MARKET DISTRICT

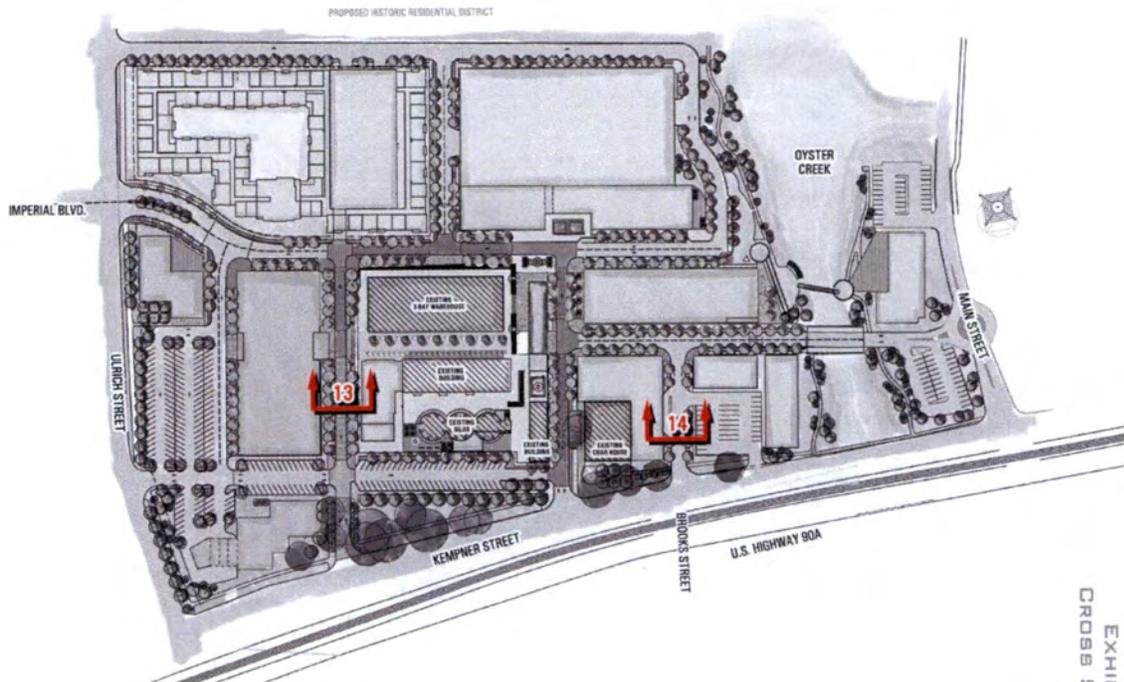
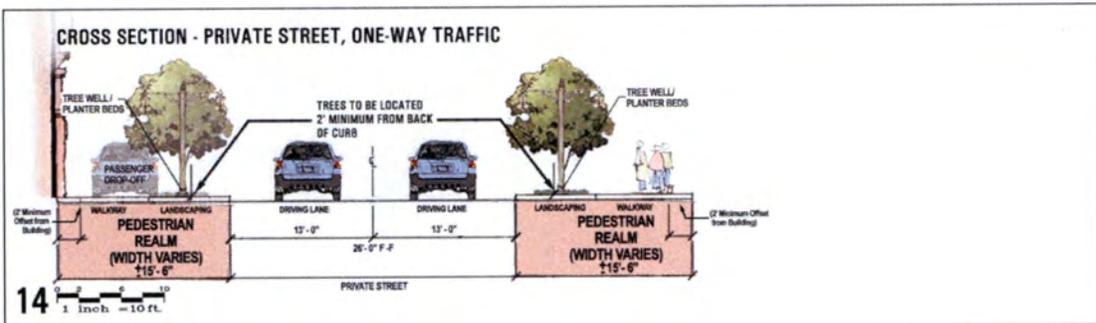
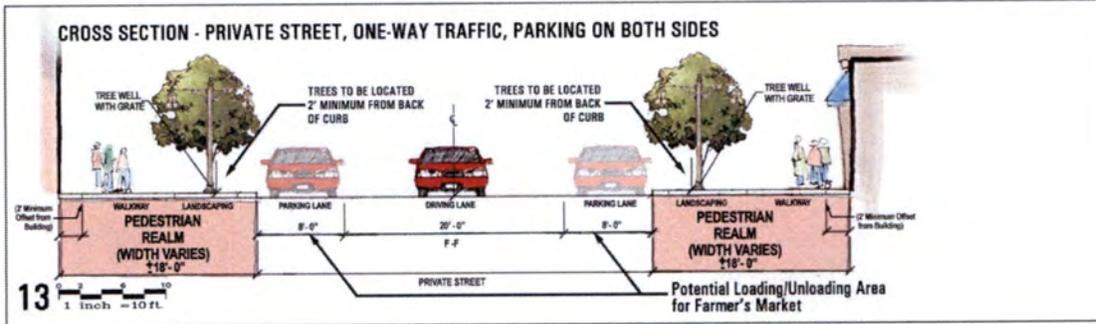


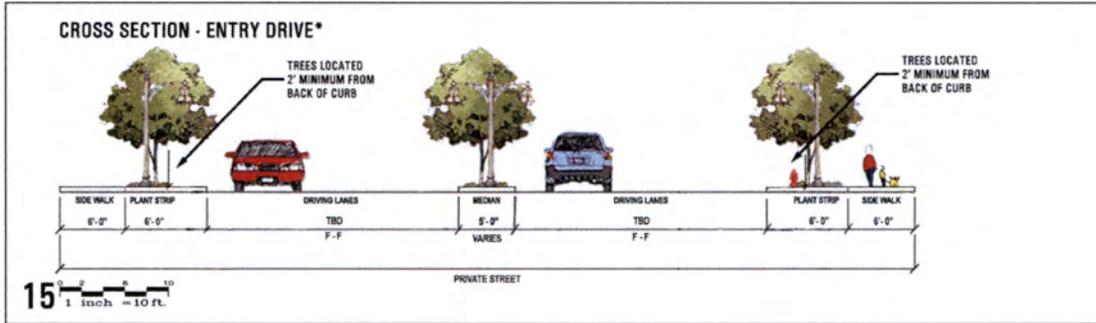
EXHIBIT B-8G:  
CROSS SECTIONS  
13 & 14



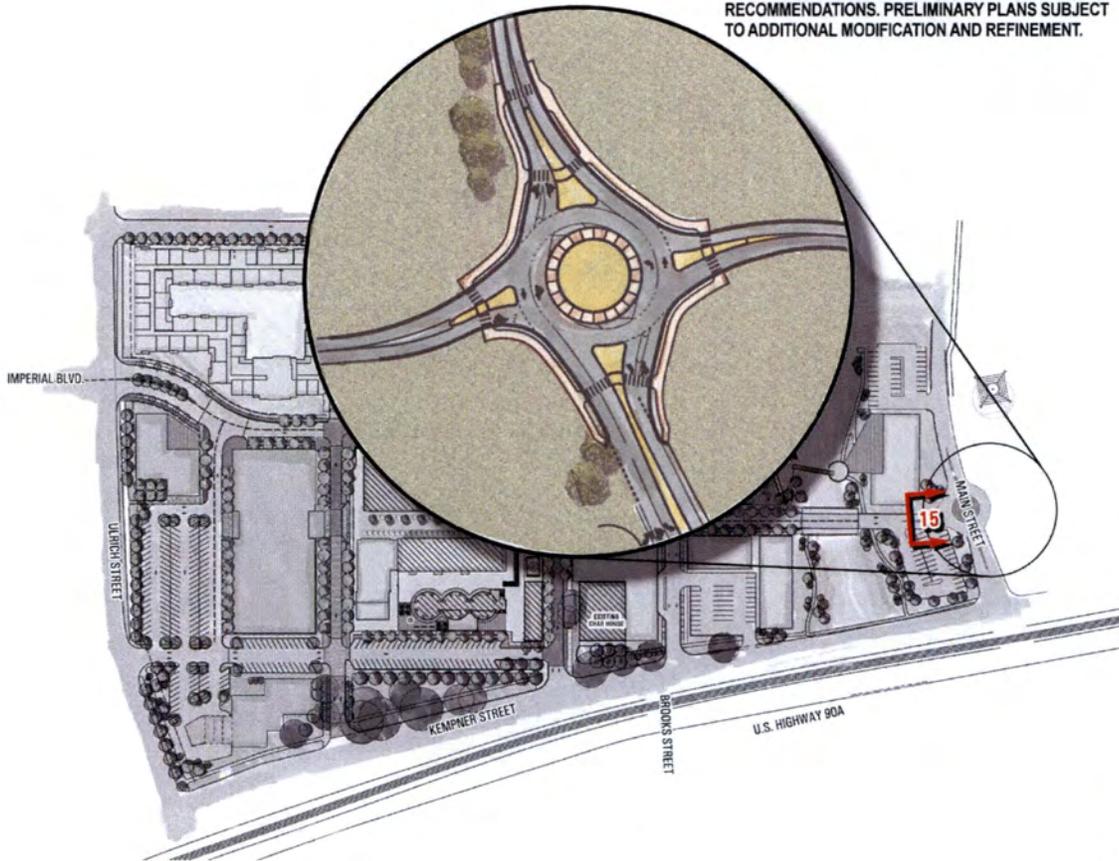
JONES CARTER

IMPERIAL MARKET DISTRICT

EXHIBIT B-8H:  
CROSS SECTION 15



NOTE: ROUNDABOUT CONFIGURATION BASED ON CITY-CONCURRED TRAFFIC IMPACT ANALYSIS (TIA) RECOMMENDATIONS. PRELIMINARY PLANS SUBJECT TO ADDITIONAL MODIFICATION AND REFINEMENT.



0' 100' 200' 400'  
SCALE: 1"=200'



JONES CARTER

IMPERIAL MARKET DISTRICT

EXHIBIT B-8H:  
CROSS SECTION 15



**LANDSCAPING**

**EXHIBIT B-9B:  
LANDSCAPE  
PLAN**

**\*REQUIRED TREE CALIPER SIZE IS MEASURED FROM 6" IN HEIGHT ABOVE NATURAL GROUND, AND HEIGHT MEASUREMENT FOR MINIMUM HEIGHT OF TREES IS MEASURED FROM NATURAL GROUND.**

Landscape buffer along parking garage:  
In addition to the shade trees, one shrub a min. 3 feet in height at time of planting for every 5 linear feet of the length of the structure not screened from public view by other structures.  
631 LF/5FT = 127 Shrubs (TYPICAL)

Seating Area: Bench, or Stone Wall, etc., at a minimum spacing of 1 seating area for 100 feet of creek frontage.

Landscape buffer along Oyster Creek:  
One shade tree located in the buffer for each 30 feet, or portion thereof, measured along the creek-facing lot line.  
1256 LF/30FT = 42 Trees (TYPICAL)

Notes: Shade trees shall be a min. 4-inch caliper and min. 10-foot height at time of planting. The trees may be clustered or spaced linearly.\*

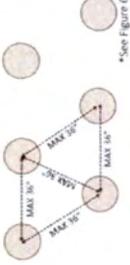
A continuous hedge or berm min. 3 feet in height at time of planting. Shrubs must be planted in a double row no more than 3 feet apart.

Landscape buffer along Unnamed Street:  
One shade tree located in the buffer for each 30 feet, or portion thereof, measured along the street-facing lot line.  
995 LF/30FT = 33 Trees (TYPICAL)  
Notes: Shade trees shall be a min. 4-inch caliper and min. 10-foot height at time of planting.\*

Shade trees in planting beds  
3516 LF/30FT = 117 trees (TYPICAL)

Shade trees in tree grates  
2335 LF/30FT = 78 trees (TYPICAL)  
Notes: Shade trees adjacent to street shall be in a min. 6 feet by 6 feet tree well.

A continuous hedge or berm min. 3 feet in height at time of planting. Shrubs must be planted in a double row no more than 3 feet apart.

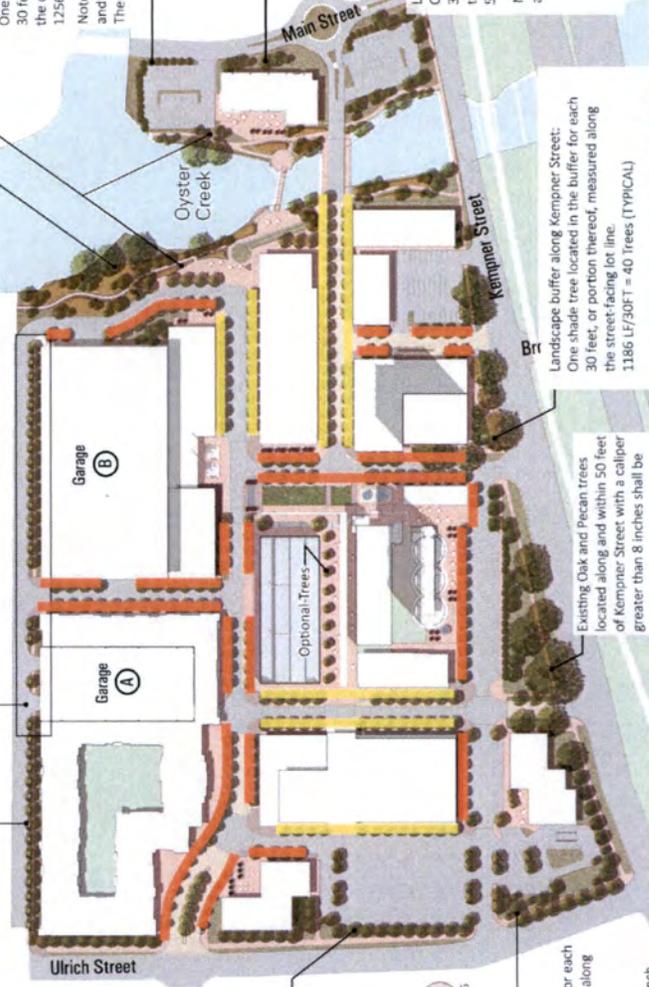
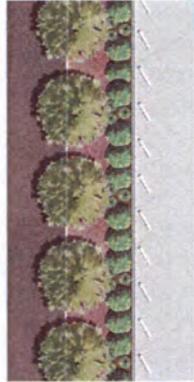
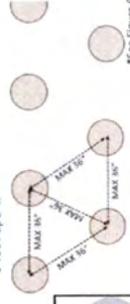


Landscape buffer along Ulrich Street:  
One shade tree located in the buffer for each 30 feet, or portion thereof, measured along the street-facing lot line.  
995 LF/30FT = 33 Trees (TYPICAL)  
Notes: Shade trees shall be a min. 4-inch caliper and min. 10-foot height at time of planting.\*

Existing Oak and Pecan trees located along and within 50 feet of Kemper Street with a caliper greater than 8 inches shall be preserved.

Landscape buffer along Kemper Street:  
One shade tree located in the buffer for each 30 feet, or portion thereof, measured along the street-facing lot line.  
1186 LF/30FT = 40 Trees (TYPICAL)  
Notes: Shade trees shall be a min. 4-inch caliper and min. 10-foot height at time of planting. The trees may be clustered or spaced linearly.\*

Landscape buffer along Main Street:  
One shade tree located in the buffer for each 30 feet, or portion thereof, measured along the street-facing lot line.  
505 LF/30FT = 42 Trees (TYPICAL)  
Notes: Shade trees shall be a min. 4-inch caliper and min. 10-foot height at time of planting.\*



**IMPERIAL MARKET**  
SHAGBARK LANTANA, TX  
198 Kemper Street  
Sugar Land, TX 77478



**JONES CARTER**

**IMPERIAL MARKET DISTRICT**



**Exhibit B-10  
Plant List for Imperial Market District**

*The following is a list of approved trees and shrubs. Alternative plants not specified in this list may be approved by the Director if determined that an alternative is substantially equal to or better than a specified material and the use will not violate any provision of the PD:*

**Shade Trees:**

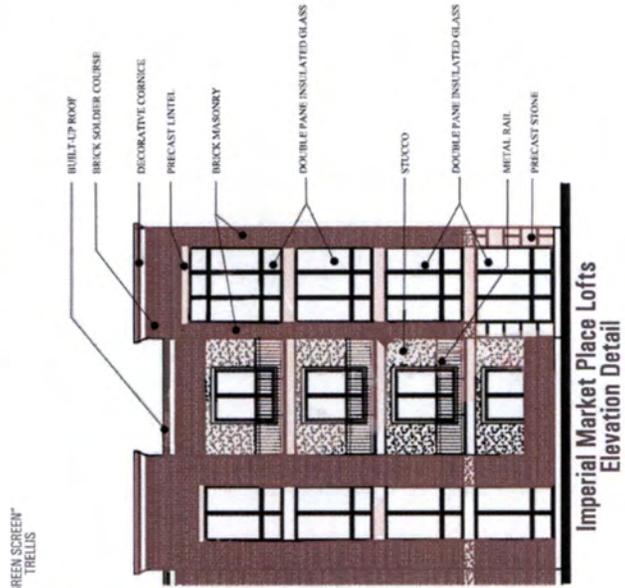
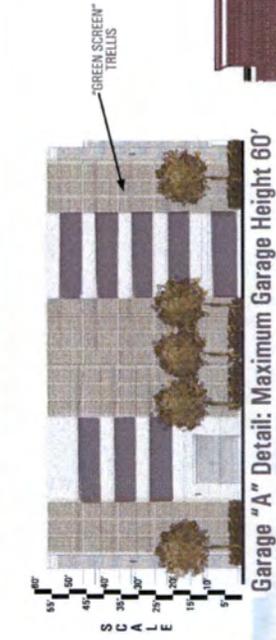
Pecan	<i>Carya illinoensis</i>
Fringe Tree	<i>Chionanthus virginicus</i>
Japanese Blueberry	<i>Elaeocarpus decipiens</i>
Nellie R. Stevens Holly	<i>Ilex x attenuata 'Nellie R. Stevens'</i>
Savannah Holly	<i>Ilex attenuata 'Savannah'</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Loblolly Pine	<i>Pinus taeda</i>
Texas Pistache	<i>Pistacia texana</i>
Sycamore	<i>Platanus occidentalis'</i>
Bur Oak	<i>Quercus macrocarpa</i>
Chinkapin Oak	<i>Quercus muhlenbergii</i>
Monterey Oak	<i>Quercus polymorpha</i>
Water Oak	<i>Quercus nigra</i>
Live Oak	<i>Quercus virginiana</i>
Shumard Oak	<i>Quercus shumardii</i>
Bald Cypress	<i>Taxodium distichum</i>
Pond Cypress	<i>Taxodium ascendens</i>
Cedar Elm	<i>Ulmus crassifolia</i>
Bosque or Drake Elm	<i>Ulmus parvifolia 'Bosque' or 'Drake'</i>

**Small & Ornamental Trees:**

Texas Redbud	<i>Cercis canadensis 'var. texensis'</i>
European Fan Palm	<i>Chamaerops humilis</i>
Desert Willow	<i>Chilopsis linearis</i>
Smokebush	<i>Cotinus obovatus</i>
Foster Holly	<i>Ilex x attenuata 'Fosterii'</i>
Possumhaw Holly	<i>Ilex decidua</i>
Yaupon Holly	<i>Ilex vomitoria</i>
Columnar Juniper	<i>Juniperus spp.</i>
Crape Myrtle	<i>Lagerstroemia indica 'Basham's Pink', 'Natchez', 'Muskogee'</i>
Little Gem Magnolia	<i>Magnolia grandiflora 'Little Gem'</i>
Tree form (MF) Ligustrum	<i>Ligustrum japonicum</i>
Saucer Magnolia	<i>Magnolia x soulangeana</i>
Sweetbay Magnolia	<i>Magnolia virginiana</i>
Tree Wax Myrtle	<i>Myrica cerifera</i>
Mexican Plum	<i>Prunus mexicana</i>
Texas Sable Palm	<i>Sabal texana</i>
Texas Mountain Laurel	<i>Sophora secundiflora</i>
Windmill Palm	<i>Trachycarpus fortunei</i>
Chaste Tree	<i>Vitex agnus-castus</i>

**Shrubs:**

Abelia  
Dwarf Bottlebrush  
Japanese Clevera  
Sago Palm  
Umbrella Plant  
African/Butterfly Iris  
Elaeagnus Ebbingei  
Silverberry  
Pineapple Guava  
Red Yucca  
Barbados Cherry  
Fatsia  
Dwarf Burford Holly  
Chinese Holly  
Dwarf Yaupon  
Louisiana Iris  
Dwarf Crape Myrtle  
Ligustrum  
Waxleaf Glossy Privet  
Fringe Flower  
Maiden Grass  
Dwarf Wax Myrtle  
Nandina  
Purple Fountain Grass  
Indian Hawthorn  
Shrub Rose  
Society Garlic  
Sweet Viburnum  
Bridal Wreath Spirea  
Oleander  
Dwarf Oleander  
Plumbago  
Dwarf Pomegranate  
Kumquat  
Muhly Grass  
Dwarf Maiden Grass  
*Abelia x grandiflora* 'Prostrata', 'Sherwood', 'Edward Goucher'  
*Callistemon citrinus* 'Australflora', 'Firebrand', 'Little John',  
and 'Splendens'  
*Ternstroemia gymnanthera*  
*Cycas revoluta*  
*Cyperus alternifolius*  
*Dietes iridoides*, *Dietes bicolor*  
*Elaeagnus macrophylla*  
*Elaeagnus fruticand*  
*Feijoa sellowiana*  
*Hesperaloe parviflora*  
*Malpighia Glabra*  
*Fatsia Japonica*  
*Ilex cornuta* 'Burfordii Nana'  
*Ilex cornuta* 'Rotunda'  
*Ilex vomitoria* 'Nana'  
*Iris louisiana*  
*Lagerstroemia indica* 'Nana'  
*Ligustrum japonicum*  
*Ligustrum lucidum*  
*Loropetalum chinense*  
*Miscanthus sinensis* var.  
*Myrica pusilla*  
*Nandina domestica*  
*Pennisetum setaceum*  
*Raphiolepis indica* 'Clara'  
*Rosa* spp. 'Knockout', 'The Fairy', 'Bonica', 'Carefree Wonder'  
*Tulbeghia violacea*  
*Viburnum* spp.  
*Spirea prunifolia*  
*Nerium oleander*  
*Nerium oleander* 'Petite Pink', 'Little Red'  
*Punica granatum* 'Nana'  
*Fortunella* spp.  
*Muehlenbergia lindheimeri*  
*Miscanthus sinensis* 'Morning Light'



1. Imperial Market Place Lofts - North Elevation



2. Imperial Market Place Lofts - West Elevation



3. Imperial Market Place Lofts - East Elevation



4. Imperial Market Place Lofts - South Elevation: MAXIMUM HEIGHT 65'

NOTE: ALL MULTI-FAMILY UNITS ACCESS INTERIOR CORRIDORS

**IMPERIAL MARKET**  
 198 Kempner Street  
 Sugar Land, TX 77478

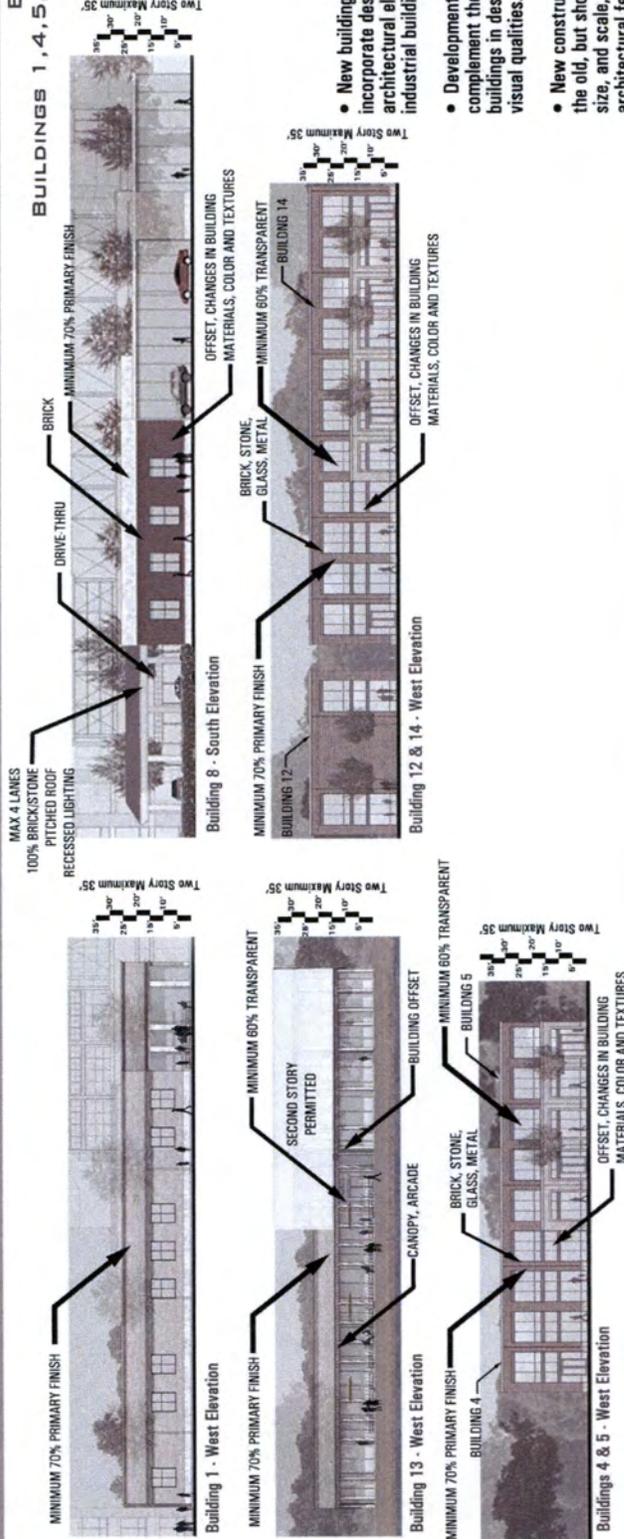


JONES | CARTER



**NEW CONSTRUCTION**

**EXHIBIT B-1.2:  
BUILDINGS 1, 4, 5, 8, 12, 13, 14**



- New buildings in the Market District shall incorporate design features respective of the architectural elements of the existing historical industrial buildings in the District.
- Development in the Market District shall complement the existing historic industrial buildings in design, color, texture and/or other visual qualities.
- New construction may be differentiated from the old, but should be compatible with massing, size, and scale, and include distinctive architectural features, finishes and construction techniques that characterize the property.
- No buildings will exceed the maximum height of 35'.

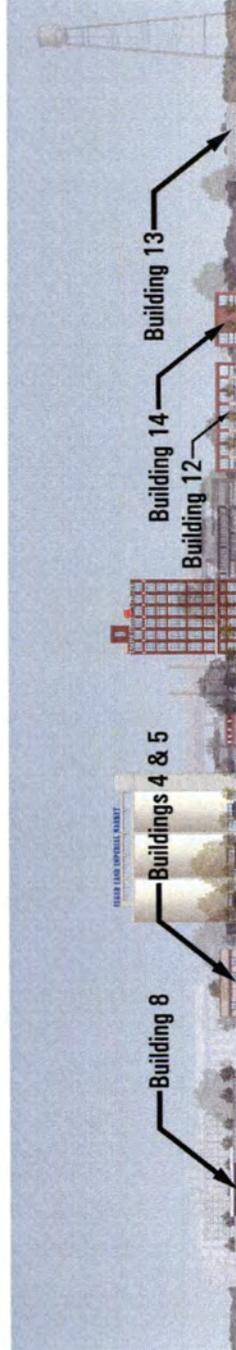


198 Kempner Street  
Sugar Land, TX 77478



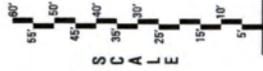
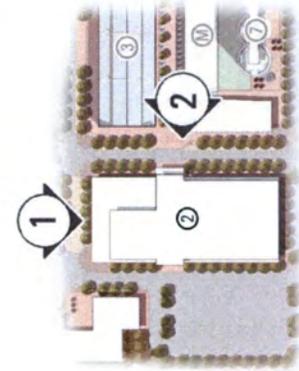
JONES | CARTER

IMPERIAL MARKET DISTRICT



**Elevations - Maximum Two Story - Buildings 1, 8, 12, 13 & 14**

THIS DRAWING IS A REPRESENTATION OF THE NEW CONSTRUCTION IN REGARDS TO BUILDING SIZE, MINIMUM FINISH REQUIREMENTS AND DESIGN CRITERIA.



Primary Finish  
(minimum 70%)

### 1. Building 2 (Cinema) - North Elevation

Alternative finishes respective of the architecture elements of the historic industrial buildings

Theater Marque subject to tenant particular trade dress and design standards

Area Proposed for Electronic Signage  
- Maximum 500 SF  
- Maximum 25' High

Primary Finish  
(minimum 70%)

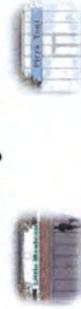
Transparent Glass Facade  
(minimum 60%)

### 2. Building 2 (Cinema) - East Elevation- Maximum Height 65'

This drawing is a representation of the proposed new construction in regard to building size, minimum finish requirements, and characterization of existing historic buildings.

Tenant space subject to their particular trade dress and design standards

Max. 25' High



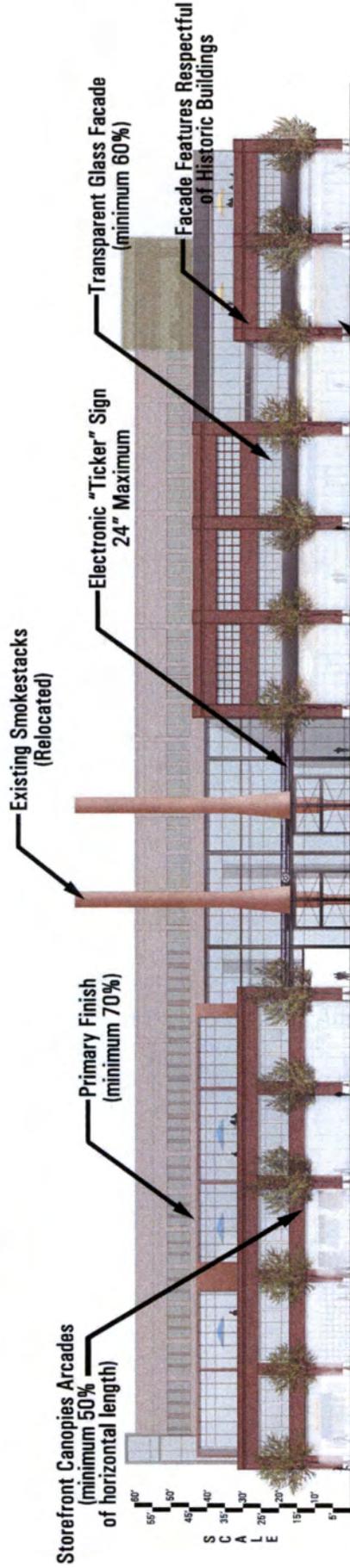
(Storefront Varies)



JONES | CARTER

IMPERIAL MARKET DISTRICT





**Building 9 (Smoke Stack Building) - South Elevation: Maximum Height 65'** Tenant space subject to their particular trade dress and design standards



(Storefront Varies)

This drawing is a representation of the proposed new construction in regard to building size, minimum finish requirements, and characterization of existing historic buildings.



JONES | CARTER

IMPERIAL MARKET DISTRICT

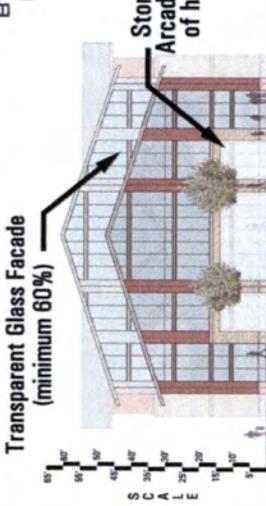




Facade Features Respectful of Historic Buildings

2. East Elevation

Primary Finish (minimum 70%)



Transparent Glass Facade (minimum 60%)

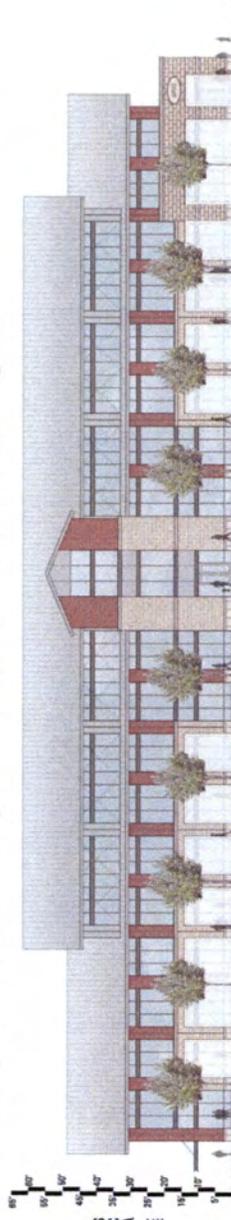
Storefront Canopies Arcades (minimum 50% of horizontal length)

4. West Elevation



1. Building 10 (Wharf Building) - North Elevation: Maximum Height 65'

Tenant space subject to their particular trade dress and design standards



3. Building 10 (Wharf Building) - South Elevation: Maximum Height 65'

This drawing is a representation of the proposed new construction in regard to building size, minimum finish requirements, and characterization of existing historic buildings.



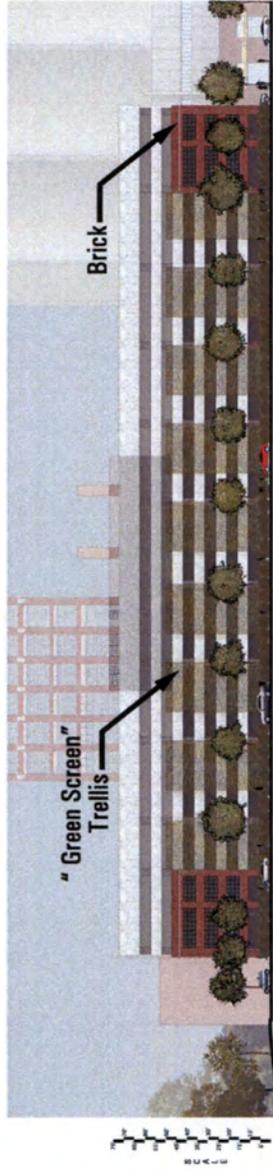
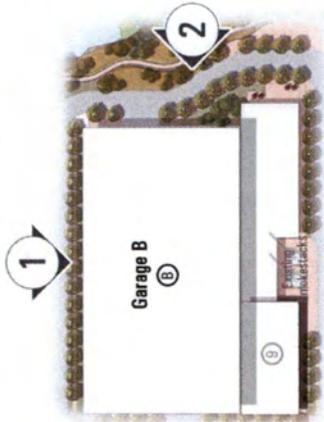
198 Kempner Street  
Sugar Land, TX 77478



JONES | CARTER



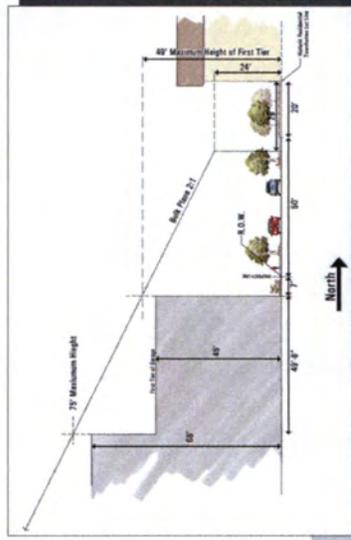
IMPERIAL MARKET DISTRICT



1. Parking Garage "B" - North Elevation: Maximum Height 75' (Subject to Bulk Plane Below)



2. Parking Garage "B" - East Elevation



**IMPERIAL MARKET**  
SHAGBARK, TX  
198 Kempner Street  
Sugar Land, TX 77478



• This drawing is a representation of the new construction in regards to minimum finish requirements.

• Building 11 shall incorporate design features respective of the architectural elements of the existing historical industrial buildings in the district.

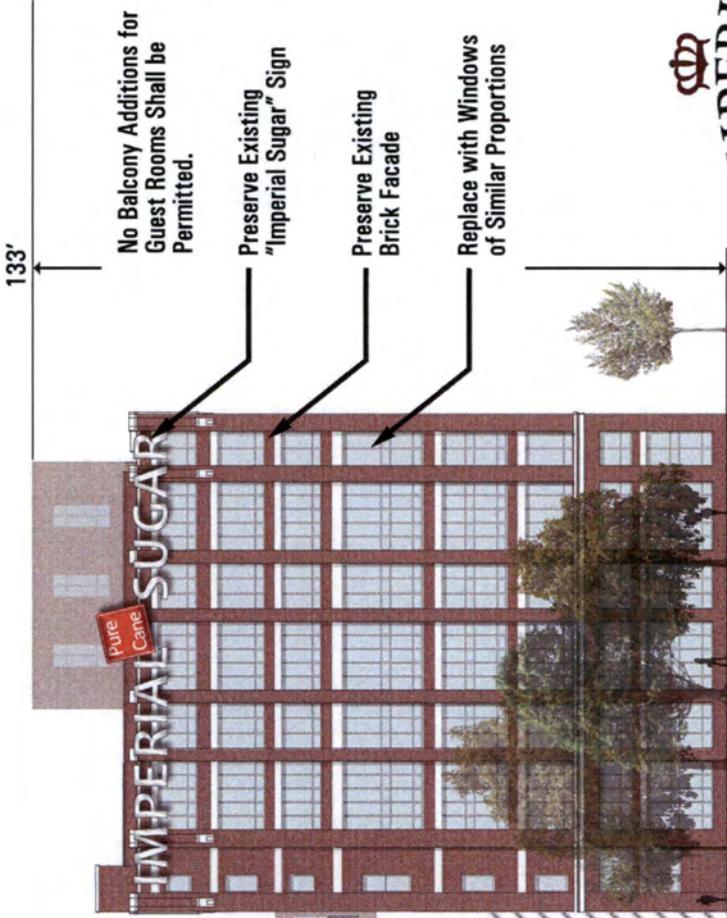
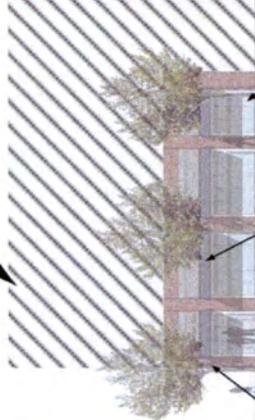
• Building 11 shall complement the existing historical industrial buildings in design, color, texture and/or other visual qualities.

• New construction may be differentiated from the old, but should be compatible with scale and include distinctive architectural features, finishes and construction techniques that characterize the property.

• New construction shall be identifiable as being of its own period of construction, but it shall not be so differentiated that it detracts from or competes with the Char House.

Shaded area represents the maximum expansion for Building 11 construction, including height.

Building 11 (Hotel Addition)



1. Buildings 11 & H (Char House) - West Elevation



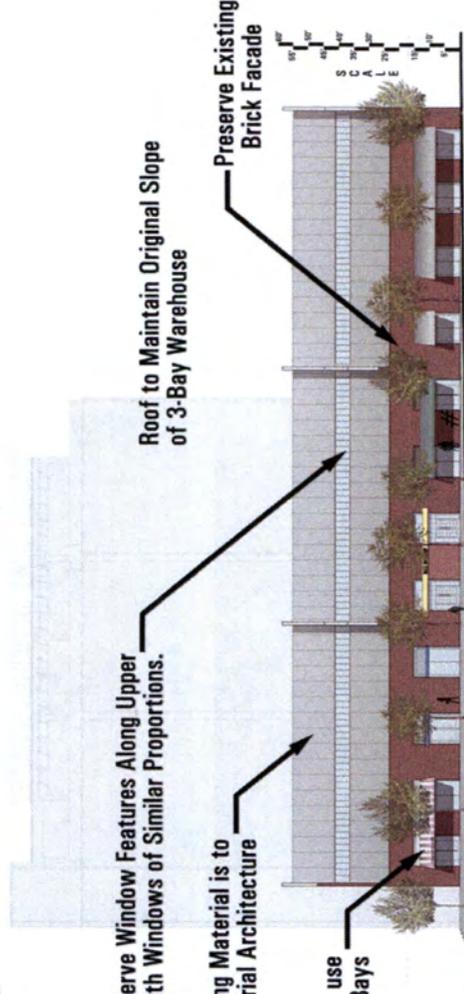
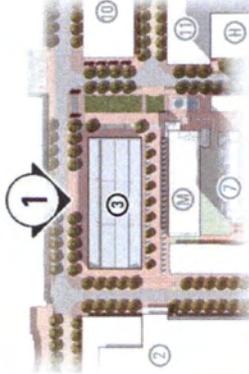
198 Kempner Street  
Sugar Land, TX 77478



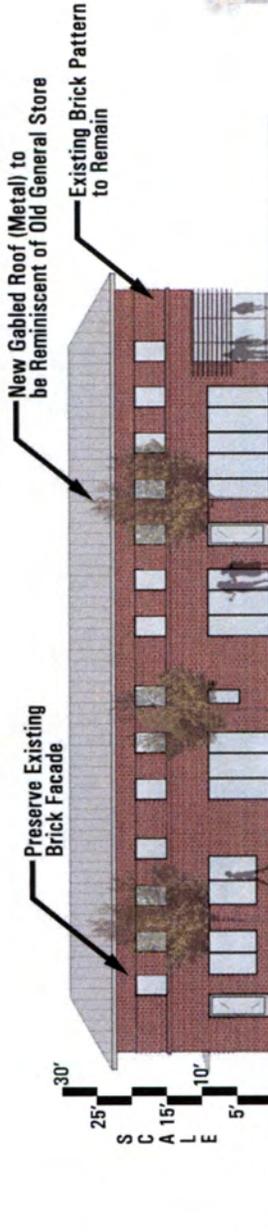
JONES CARTER

IMPERIAL MARKET DISTRICT

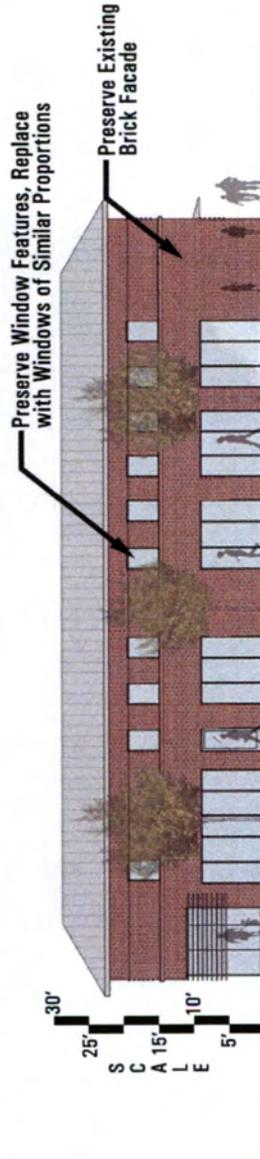




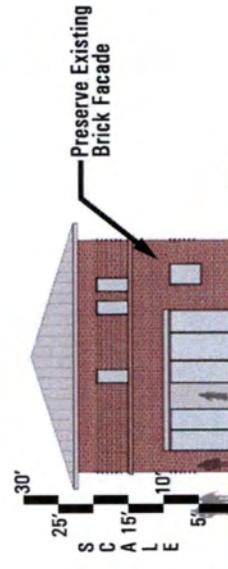
1. Building 3 (3-Bay Warehouse) - North Elevation



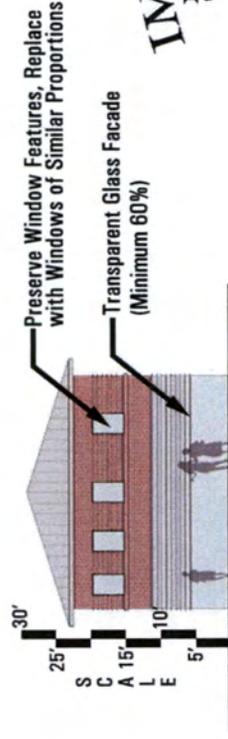
1. West Elevation



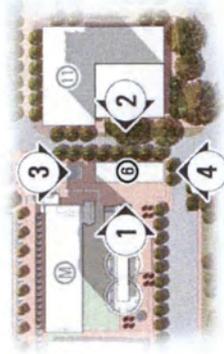
2. East Elevation



3. North Elevation



4. South Elevation



198 Kemper Street  
Sugar Land, TX 77478



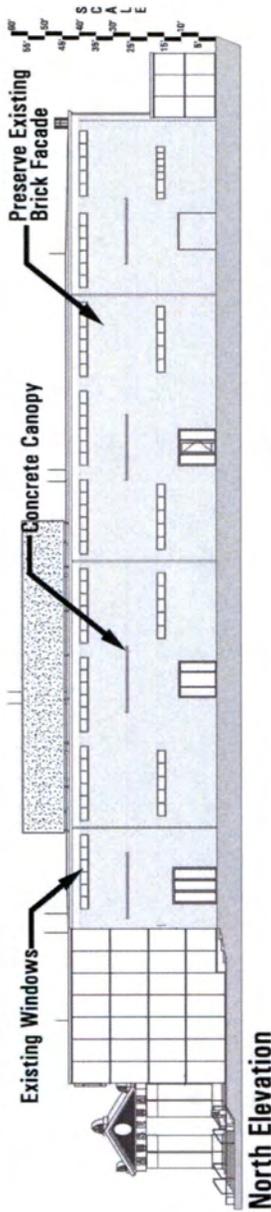
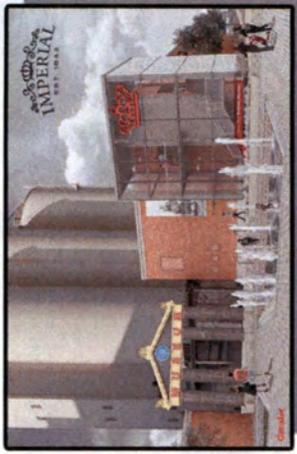
JONES | CARTER

IMPERIAL MARKET DISTRICT

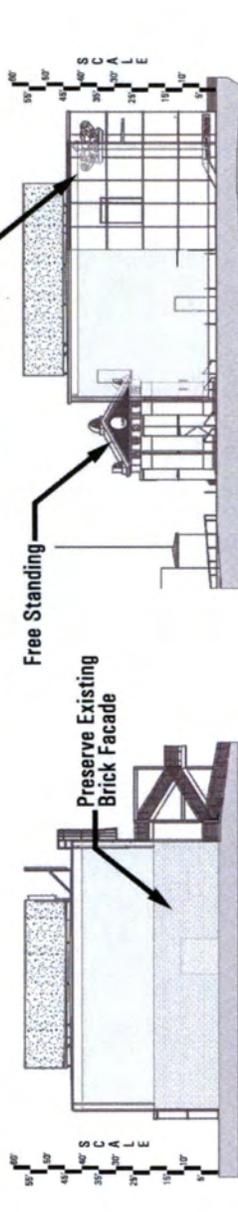


HISTORICAL PRESERVATION

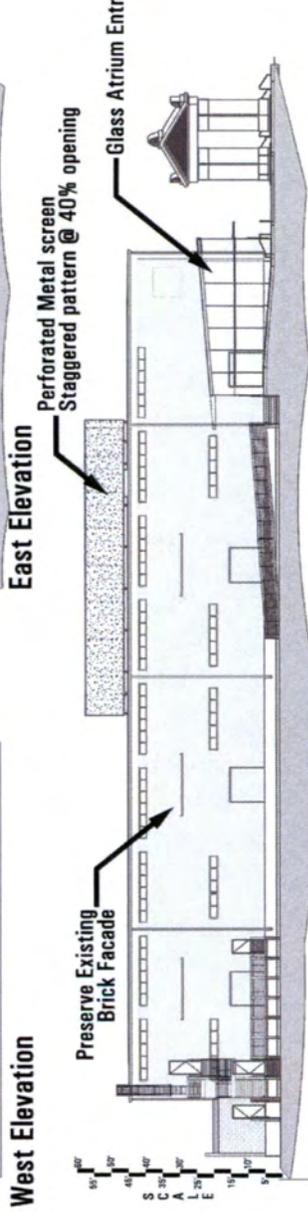
EXHIBIT B-20:  
IMPERIAL MUSEUM



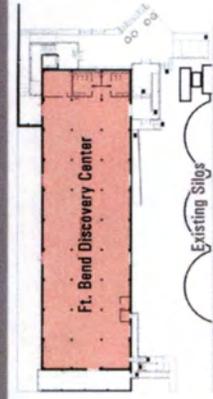
North Elevation



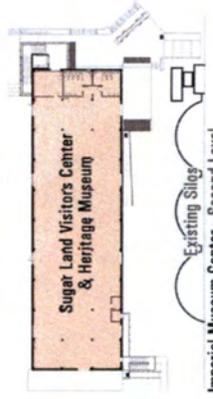
West Elevation



South Elevation



Imperial Museum Center - First Level



Imperial Museum Center - Second Level



JONES | CARTER



IMPERIAL MARKET DISTRICT

Gensler



**Administrative Amendment to a Planned Development District  
Authorized Under Development Code, Chapter 2, Article II, Part 5, Section 2-135**

<b>PD Amendment Information:</b>	
PD Name	Imperial Market District Final Development Plan
PD Ordinance Number	Ordinance No. 2036
Date of Ordinance Adoption:	December 1, 2015
Classification	Administrative Amendment No. 1
Purpose of Administrative Amendment	<ol style="list-style-type: none"><li>1. Clarify the conditions regarding access to the multi-family units from a temperature controlled internal corridor.</li><li>2. Clarify the features of a temperature controlled internal corridor.</li></ol>
Initiated by:	Property Owner & Project Representative
Affected Ordinance Exhibits	Exhibit B, Exhibit B-11
Planning Case No.	15-60000002 & 16-75000003

**Lisa Kocich-Meyer, AICP  
Director of Planning**

March 24, 2016

**Attachments:**

New Exhibits as follows:

Exhibit B (see highlighted sections below)

- Section D.2.11.
- Figure 8
- Figure 9

Exhibit B-11A

Exhibit B-11B

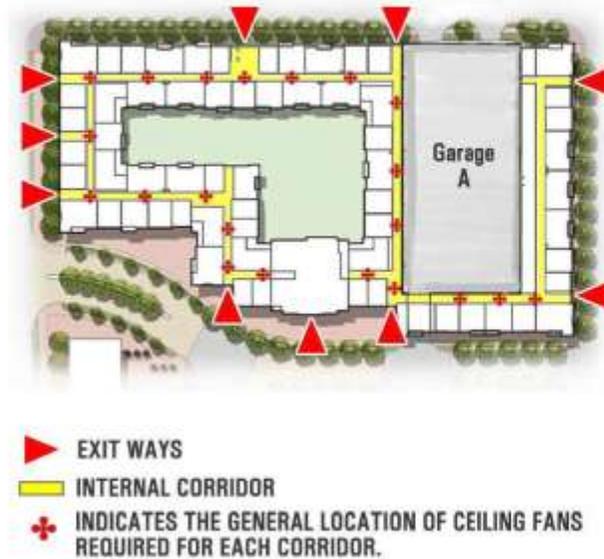
Exhibit B-11C

Exhibit B, Section D.2.11.

- (iv) Electrical transformers and control boxes
- (v) Air-conditioning units
- (vi) Loading and truck service areas
- (vii) Auxiliary buildings
- (viii) Shipping and receiving dock doors
- (ix) Truck docks and trash bins
- (x) Trash enclosures
- (xi) Ground-mounted mechanical equipment

8. Developer shall achieve Bronze level certification utilizing the National Association of Home Builders' *National Green Building Program* as the basis for site design and construction requirements.
9. Fences: No perimeter fencing is permitted for the multi-family development.
10. Patios and outdoor balconies:
  - a. No clothes lines, bedding, personal clothing or cleaning items shall be hung or left on patios and/or balconies at any time.
  - b. Bicycles, skates, skateboards, surfboards and other personal belongings shall be kept inside the buildings and not stored on the patios and balconies.
  - c. No signs or advertising material shall be posted on or from a balcony railing.
  - d. Satellite dishes may be placed on individual unit balconies; however, they must be placed so as not to protrude beyond the balcony.
11. All multi-family units shall be designed with units accessible to a temperature controlled interior corridor. No external corridors shall be permitted.
  - a. Internal corridor means corridors located internal to the building complex and not along the building perimeter or adjacent to a public street or internal access easement. As shown on Figure 8.
  - b. External corridor means a corridor that is located along the perimeter of the building complex and adjacent to a public street or internal access easement.
  - c. "Exit ways" are openings from the internal corridors to the perimeter of the building complex. As shown on Figure 8.

Exhibit B, Section D.2.11. & Figure 8



**FIGURE 8.**

- d. On the ground floor, "exit ways" from an interior corridor shall be enclosed with doors with controlled access.
- e. Corridors and or "exit ways" on the upper levels that open to the adjacent public street or internal access easements shall be screened from public view by the use of a decorative screen that will limit the view of any stairs. Stairs shall be setback from the opening a minimum of 10 feet.
- f. Temperature in the corridors shall be controlled by the use of a mechanical ventilation system to include at a minimum ceiling fans installed at regular intervals as shown of Figure 8 above, automatically activated by thermostat.
- g. Internal corridors shall include at least the following minimum architectural finishes:
  - Decorative and or recessed lighting fixtures.
  - Door frames, chair rails, crown molding and base boards of a contrasting color.
  - Ceiling fans

Exhibit B, Section D.2.11. & Figure 9

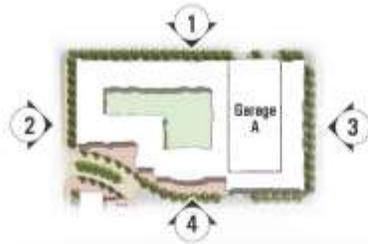


**FIGURE 9.**

12. Per *Resolution 10-21*, adopted by City Council on April 20, 2010, Final Development Plans with multi-family and non-conventional single-family uses such as townhomes shall consider the features listed below. References to *Resolution 10-21*, noted below, correspond to the development regulations for multi-family within this Final Development Plan.

- Vertical or horizontal mix of uses.
- Pedestrian-friendly elements beyond code requirements.
- Streetscape/hardscape enhancements.
- Connectivity for bicycle and pedestrian traffic.
- Reserved spaces for future transit nodes and interfaces.
- Enhanced exterior building finishes.
- Enhanced landscaping and buffering from existing single-family uses. Incentives for owner occupancy increased density, etc.
- "Green building" incentives beyond code requirements for structures and site development.
- Integrated parking – structured parking, etc.
- Allowance for shared common space between different uses.
- Provision for goods and services supporting residential uses within walking distance with pedestrian connectivity.

**NEW CONSTRUCTION**  
**EXHIBIT B-11A:**  
**MULTI-FAMILY ELEVATIONS**



1. Imperial Market Place Lofts - North Elevation



2. Imperial Market Place Lofts - West Elevation



3. Imperial Market Place Lofts - East Elevation



4. Imperial Market Place Lofts - South Elevation: MAXIMUM HEIGHT 65'

**NOTE: ALL MULTI-FAMILY UNITS ACCESS INTERIOR CORRIDORS**



Imperial Market Place Lofts  
 Elevation Detail

**IMPERIAL**  
**MARKET**  
 Sugar Land, TX  
 198 Kempner Street  
 Sugar Land, TX 77478



IMPERIAL MARKET DISTRICT





NEW CONSTRUCTION

EXHIBIT B-110:  
MULTI-FAMILY  
COLOR PERSPECTIVE



  
**IMPERIAL**  
**MARKET**  
Sugar Land, TX  
198 Kempner Street  
Sugar Land, TX 77478



IMPERIAL MARKET DISTRICT

